



AGENDA

Tuesday, May 3, 2022

5:00 P.M. Closed Session

6:30 P.M. Open Session

REGULAR MEETING

**CITY COUNCIL, AIRPORT COMMISSION,
MARINA ABRAMS B NON-PROFIT CORPORATION, PRESTON PARK SUSTAINABLE
COMMUNITY NON-PROFIT CORPORATION, SUCCESSOR AGENCY OF THE FORMER
MARINA REDEVELOPMENT AGENCY AND MARINA GROUNDWATER
SUSTAINABILITY AGENCY**

Council Chambers
211 Hillcrest Avenue
Marina, California

Zoom Meeting URL: <https://zoom.us/j/730251556>

Zoom Meeting Telephone Only Participation: 1-669-900-9128 - Webinar ID: 730 251 556

In accordance with California Government Code §54953(e)(1)(A) and (C) and the Proclamation of a State of Emergency issued by Governor Newsom on March 4, 2020, under the provisions of Government Code §8625 related to the COVID-19 (coronavirus) pandemic, consistent with recommendations by State and local health officials regarding social distancing and in order to prevent an imminent risk to the health and safety of attendees as determined in Resolution 2022-48, public participation in City of Marina City Council public meetings shall be electronic only and without a physical location for public participation until the earlier of May 31, 2022, or such time as the City Council may adopt a resolution in accordance with Government Code §54953(e)(3). This meeting is being broadcast “live” on Access Media Productions (AMP) Community Television Cable 25 and on the City of Marina Channel and on the internet at <https://accessmediaproductions.org/>

PARTICIPATION

You may participate in the City Council meeting in real-time by calling Zoom Meeting via the weblink and phone number provided at the top of this agenda. Instructions on how to access, view and participate in remote meetings are provided by visiting the City’s home page at <https://cityofmarina.org/>. Attendees can make oral comments during the meeting by using the “Raise Your Hand” feature in the webinar or by pressing *9 on your telephone keypad if joining by phone only. If you are unable to participate in real-time, you may email to marina@cityofmarina.org with the subject line “Public Comment Item#___” (insert the item number relevant to your comment) or “Public Comment – Non Agenda Item.” Comments will be reviewed and distributed before the meeting if received by 5:00 p.m. on the day of the meeting. All comments received will become part of the record. Council will have the option to modify their action on items based on comments received.

AGENDA MATERIALS

Agenda materials, staff reports and background information related to regular agenda items are available on the City of Marina’s website www.cityofmarina.org. Materials related to an item on this agenda submitted to the Council after distribution of the agenda packet will be made available on the City of Marina website www.cityofmarina.org subject to City staff’s ability to post the documents before the meeting

VISION STATEMENT

Marina will grow and mature from a small town bedroom community to a small city which is diversified, vibrant and through positive relationships with regional agencies, self-sufficient. The City will develop in a way that insulates it from the negative impacts of urban sprawl to become a desirable residential and business community in a natural setting. **(Resolution No. 2006-112 - May 2, 2006)**

MISSION STATEMENT

The City Council will provide the leadership in protecting Marina's natural setting while developing the City in a way that provides a balance of housing, jobs and business opportunities that will result in a community characterized by a desirable quality of life, including recreation and cultural opportunities, a safe environment and an economic viability that supports a high level of municipal services and infrastructure. **(Resolution No. 2006-112 - May 2, 2006)**

1. **CALL TO ORDER**



2. **ROLL CALL & ESTABLISHMENT OF QUORUM:** (City Council, Airport Commissioners, Marina Abrams B Non-Profit Corporation, Preston Park Sustainable Communities Nonprofit Corporation, Successor Agency of the Former Redevelopment Agency Members and Marina Groundwater Sustainability Agency)

Cristina Medina Dirksen, David Burnett, Lisa Berkley, Mayor Pro-Tem/Vice Chair Kathy Biala, Mayor/Chair Bruce C. Delgado

3. **CLOSED SESSION:** *As permitted by Government Code Section 54956 et seq., the (City Council, Airport Commissioners, Marina Abrams B Non-Profit Corporation, Preston Park Sustainable Communities Nonprofit Corporation, Successor Agency of the Former Redevelopment Agency Members and Marina Groundwater Sustainability Agency) may adjourn to a Closed or Executive Session to consider specific matters dealing with litigation, certain personnel matters, property negotiations or to confer with the City's Meyers-Milias-Brown Act representative.*

- a. Public Employment Appointment (Govt. Code Section 54957(b)(1):
Position: City Attorney

6:30 PM - RECONVENE OPEN SESSION AND REPORT ON ANY ACTIONS TAKEN IN CLOSED SESSION

4. **MOMENT OF SILENCE & PLEDGE OF ALLEGIANCE** (Please stand)

5. **SPECIAL PRESENTATIONS:**

- a Francisco Tapia, 2021 Police Officer of the Year
- b Richard Janicki, 2021 Professional Support Person of the Year
- c Marina Earth Day Presentation

6. **SPECIAL ANNOUNCEMENTS AND COMMUNICATIONS FROM THE FLOOR:** *Any member of the Public or the City Council may make an announcement of special events or meetings of interest as information to Council and Public. Any member of the public may comment on any matter within the City Council's jurisdiction which is not on the agenda. Please state your name for the record. Action will not be taken on an item that is not on the agenda. If it requires action, it will be referred to staff and/or placed on a future agenda. City Council members or City staff may briefly respond to statements made or questions posed as permitted by Government Code Section 54954.2. In order that all interested parties have an opportunity to speak, please limit comments to a maximum of four (4) minutes. Any member of the public may comment on any matter listed on this agenda at the time the matter is being considered by the City Council.*

7. CONSENT AGENDA FOR THE SUCCESSOR AGENCY TO THE FORMER MARINA REDEVELOPMENT AGENCY: *Background information has been provided to the Successor Agency of the former Redevelopment Agency on all matters listed under the Consent Agenda, and these items are considered to be routine. All items under the Consent Agenda are normally approved by one motion. Prior to such a motion being made, any member of the public or the City Council may ask a question or make a comment about an agenda item and staff will provide a response. If discussion or a lengthy explanation is required, that item will be removed from the Consent Agenda for Successor Agency to the former Marina Redevelopment Agency and placed at the end of Other Action Items Successor Agency to the former Marina Redevelopment Agency.*
8. CONSENT AGENDA: *Background information has been provided to the City Council, Airport Commission, Marina Abrams B Non-Profit Corporation, and Redevelopment Agency on all matters listed under the Consent Agenda, and these items are considered to be routine. All items under the Consent Agenda are normally approved by one motion. Prior to such a motion being made, any member of the public or the City Council may ask a question or make a comment about an agenda item and staff will provide a response. If discussion or a lengthy explanation is required, that item will be removed from the Consent Agenda and placed at the end of Other Action Items.*
 - a. ACCOUNTS PAYABLE:
 - (1) Accounts Payable Check Numbers 99772-99873, totaling \$609,293.99
Accounts Payable for Successor Agency Check Numbers 84, totaling \$334.20
 - b. MINUTES:
 - (1) April 19, 2022, Regular City Council Meeting
 - c. CLAIMS AGAINST THE CITY: None
 - d. AWARD OF BID: None
 - e. CALL FOR BIDS: None
 - f. ADOPTION OF RESOLUTIONS: None
 - g. APPROVAL OF AGREEMENTS: None
 - h. ACCEPTANCE OF PUBLIC IMPROVEMENTS: None
 - i. MAPS: None
 - j. REPORTS: (RECEIVE AND FILE):
 - (1) City Council receiving Investment Reports for the City of Marina and City of Marina as Successor Agency to the Marina Redevelopment Agency for the quarter ended March 31, 2022.
 - k. FUNDING & BUDGET MATTERS: None
 - l. APPROVE ORDINANCES (WAIVE SECOND READING):
 - m. APPROVE APPOINTMENTS:
9. PUBLIC HEARINGS:
 - a. City Council consider Planning Commission recommendation to open a public hearing, take testimony from the public and consider adopting Resolution No. 2022-, approving tentative subdivision map amendment within Phase 1B of The Dunes on Monterey Bay (formally University Villages) Specific Plan CEQA Determination: environmental impacts analyzed in prior EIR.

10. OTHER ACTIONS ITEMS OF THE SUCCESSOR AGENCY TO THE FORMER MARINA REDEVELOPMENT AGENCY: *Action listed for each Agenda item is that which is requested by staff. The Successor Agency may, at its discretion, take action on any items. The public is invited to approach the podium to provide up to four (4) minutes of public comment.*
11. OTHER ACTION ITEMS: *Action listed for each Agenda item is that which is requested by staff. The City Council may, at its discretion, take action on any items. The public is invited to approach the podium to provide up to four (4) minutes of public comment.*

Note: No additional major projects or programs should be undertaken without review of the impacts on existing priorities (Resolution No. 2006-79 – April 4, 2006).

- a. City Council consider adopting Resolution No. 2022-, approving the mid-cycle budget adjustments as outlined in the staff report, and authorizing the Finance Director to make all necessary accounting and budgetary entries
 - b. City Council consider adopting Resolution No. 2022-, receiving a report on the Hilltop Park recommendations from the ad-hoc committee and City Council appointed liaisons and providing direction for the final design of the Hilltop Park at The Dunes.
12. COUNCIL & STAFF INFORMATIONAL REPORTS:
 - a. Monterey County Mayor's Association [Mayor Bruce Delgado]
 - b. Council and staff opportunity to ask a question for clarification or make a brief report on his or her own activities as permitted by Government Code Section 54954.2.
13. ADJOURNMENT:

CERTIFICATION

I, Anita Sharp, Deputy City Clerk, of the City of Marina, do hereby certify that a copy of the foregoing agenda was posted at City Hall and Council Chambers Bulletin Board at 211 Hillcrest Avenue, Monterey County Library Marina Branch at 190 Seaside Circle, City Bulletin Board at the corner of Reservation Road and Del Monte Boulevard on or before 6:30 p.m., Friday, April 29, 2022.

ANITA SHARP, DEPUTY CITY CLERK

City Council, Airport Commission and Redevelopment Agency meetings are recorded on tape and available for public review and listening at the Office of the City Clerk and kept for a period of 90 days after the formal approval of MINUTES.

City Council meetings may be viewed live on the meeting night and at 12:30 p.m. and 3:00 p.m. on Cable Channel 25 on the Sunday following the Regular City Council meeting date. In addition, Council meetings can be viewed at 6:30 p.m. every Monday, Tuesday and Wednesday. For more information about viewing the Council Meetings on Channel 25, you may contact Access Monterey Peninsula directly at 831-333-1267.

Agenda items and staff reports are public record and are available for public review on the City's website (www.ciymarina.org), at the Monterey County Marina Library Branch at 190 Seaside Circle and at the Office of the City Clerk at 211 Hillcrest Avenue, Marina between the hours of 10:00 a.m. 5:00 p.m., on the Monday preceding the meeting.

Supplemental materials received after the close of the final agenda and through noon on the day of the scheduled meeting will be available for public review at the City Clerk's Office during regular office hours and in a 'Supplemental Binder' at the meeting.

Members of the public may receive the City Council, Airport Commission and Successor Agency of the Former Redevelopment Agency Agenda at a cost of \$55 per year or by providing a self-addressed, stamped envelope to the City Clerk. The Agenda is also available at no cost via email by notifying the City Clerk at marina@cityofmarina.org

ALL MEETINGS ARE OPEN TO THE PUBLIC. THE CITY OF MARINA DOES NOT DISCRIMINATE AGAINST PERSONS WITH DISABILITIES. Council Chambers are wheelchair accessible. meetings are broadcast on cable channel 25 and recordings of meetings can be provided upon request. to request assistive listening devices, sign language interpreters, readers, large print agendas or other accommodations, please call (831) 884-1278 or e-mail: marina@cityofmarina.org. requests must be made at least **48 hours** in advance of the meeting.

Upcoming 2022 Meetings of the City Council, Airport Commission, Marina Abrams B Non-Profit Corporation, Preston Park Sustainable Community Nonprofit Corporation, Successor Agency of the Former Redevelopment Agency and Marina Groundwater Sustainability Agency
Regular Meetings: 5:00 p.m. Closed Session;
6:30 p.m. Regular Open Sessions

Tuesday, May 17, 2022

***Wednesday, September 7, 2022**

Tuesday, September 20, 2022

Tuesday, June 7, 2022

****Thursday, October 6, 2022**

Tuesday, June 21, 2022

Tuesday, October 18, 2022

***Wednesday, July 6, 2022**

Tuesday, November 1, 2022

Tuesday, July 19, 2022

Tuesday, November 15, 2022

Tuesday, August 2, 2022

Tuesday, December 6, 2022

Tuesday, August 16, 2022

Tuesday, December 20, 2022

* Regular Meeting rescheduled due to Monday Holiday

** Regular Meeting rescheduled due to Religious Holiday

NOTE: Regular Meeting dates may be rescheduled by City Council only.

C I T Y H A L L 2 0 2 2 H O L I D A Y S (City Hall Closed)

Memorial Day -----Monday, May 30, 2022
Independence Day (City Offices Closed) -----Monday, July 4, 2022
Labor Day -----Monday, September 5, 2022
Veterans Day -----Friday, November 11, 2022
Thanksgiving Day ----- Thursday, November 24, 2022
Thanksgiving Break -----Friday, November 25, 2022
Winter Break -----Friday, December 23, 2022-Friday, December 30, 2022

2022 COMMISSION DATES

Upcoming 2022 Meetings of Design Review Board
3rd Wednesday of every month. Meetings are held at the Council Chambers at 6:30 P.M.
 ** = Change in location due to conflict with Council meeting

May 18, 2022
 June 15, 2022

July 20, 2022
 August 17, 2022
 September 21, 2022

October 19, 2022
 November 16, 2022
 December 21, 2022

Upcoming 2022 Meetings of Economic Development Commission
3rd Thursday of every month. Meetings are held at the Council Chambers at 4:00 P.M.

May 19, 2022
 June 16, 2022

July 21, 2022
 August 18, 2022
 September 15, 2022

October 20, 2022
 November 17, 2022
 December 15, 2022 (Cancelled)

Upcoming 2022 Meetings of Planning Commission
2nd and 4th Thursday of every month. Meetings are held at the Council Chambers at 6:30 P.M.

May 12, 2022
 May 26, 2022
 June 9, 2022
 June 23, 2022

July 14, 2022
 July 28, 2022
 August 8, 2022
 August 22, 2022

September 8, 2022
 September 22, 2022
 October 13, 2022
 October 27, 2022
 November 10, 2022

December 18, 2022

Upcoming 2022 Meetings of Public Works Commission
3rd Thursday of every month. Meetings are held at the Council Chambers at 6:30 P.M.

May 19, 2022

June 16, 2022
 July 21, 2022
 August 18, 2022

September 15, 2022
 October 20, 2022
 November 17, 2022
 December 15, 2022

**Upcoming 2022 Meetings of Recreation &
 Cultural Services Commission**
1st Wednesday of every quarter month. Meetings are held at the Council Chambers at 6:30 P.M.

September 1, 2022

December 1, 2022

Upcoming 2022 Meetings of Marina Tree Committee
2nd Wednesday of every quarter month as needed. Meetings are held at the Council Chambers at 6:30 P.M.

July 13, 2022

October 12, 2022



Proclamation

Recognizing Police Officer Francisco Tapia Marina Police Department 2021 Officer of the Year

WHEREAS, Police Officer Francisco Tapia consistently demonstrated a superior work ethic and commitment and dedication to the Marina Police Department; and,

WHEREAS, Officer Tapia identifies crime trends in the City of Marina and surrounding cities, recognizes crime patterns and uses this knowledge to engage in crime prevention efforts to disrupt criminals from victimizing community members; and,

WHEREAS, Officer Tapia utilizes discretionary patrol time to identify problems in the City and identifies solutions to solve them using community policing strategies in furtherance of the mission of the Marina Police Department; and

WHEREAS, Officer Tapia demonstrates a high level of proactivity and as such made fourteen arrests for driving under the influence and leads his shift in all categories related to arrests, citations, reports and filed interviews; and,

WHEREAS, Officer Tapia has excelled as one of the Departments defensive tactics instructors, assisted in revising the Department's defensive tactics program, and along with his co-instructor, received the praise of many of their peers as to how well the defensive tactics course is run; and,

WHEREAS, Officer Tapia actions have brought credit not only upon himself and the Police Department, but to the City and the law enforcement profession as a whole; and,

NOW THEREFORE, this Council does hereby confer its highest commendation for the manner in which Officer Tapia has performed his duties as a member of the Marina Police Department, with special thanks for his professionalism, dedication to duty and the members of the public.

IT IS HEREBY ORDERED that the City Clerk cause this Resolution to be engrossed so that it can be presented to Officer Francisco Tapia as an expression of the Council's appreciation for his dedicated service to the City of Marina.

Adopted this 3rd day of May 2022



Bruce C. Delgado, Mayor



Proclamation

Recognizing Management Analyst Richard “Rick” Janicki Marina Police Department 2021 Support Services Person of the Year

WHEREAS, Management Analyst Richard Janicki was hired by the City of Marina in April 1992 as a Police Officer, was promoted to Police Lieutenant in 1994, retired in December 2011, was rehired as a part-time Management Analyst in March 2012, and utilizes his thirty years of City and Police Department historical knowledge and experience in his current position; and,

WHEREAS, Management Analyst Richard Janicki’s current duties include management of the Police Department’s Policies and Procedures Manual, production of staff reports, resolutions and proclamations, creating and rewriting City ordinances as needed, managing the Department’s Award Program, grant management and procurement, issuance of numerous City permits, production of the Police Department’s Annual National Night Out, the Department’s Annual Report and research and development of programs, services and equipment; and,

WHEREAS, Management Analyst Richard Janicki was responsible for the Police Department procuring three grants this year, namely State of California Tobacco Grant Program, ABC Alcohol Policing Partnership Program Grant, and the CHP Cannabis Tax Fund Law Enforcement Grant; and,

WHEREAS, Management Analyst Richard Janicki’s overall work performance in 2021 and in years past has consistently been of the highest standard; and,

WHEREAS, Management Analyst Richard Janicki has brought credit not only upon himself and the Police Department, but to the City and the law enforcement profession as a whole.

NOW THEREFORE, this Council does hereby confer its highest commendation for the manner in which Management Analyst Richard Janicki has performed his duties as a member of the Marina Police Department, with special thanks for his professionalism, dedication to duty and the members of the public.

IT IS HEREBY ORDERED that the City Clerk cause this Resolution to be engrossed so that it can be presented to Management Analyst Richard Janicki as an expression of the Council’s appreciation for his dedicated service to the City of Marina.

Adopted this 3rd day of May 2022



Bruce C. Delgado, Mayor

AP Check Register 04-22-22

Bank Account: 905 - Chase - Checking

Batch Date: 04/22/2022

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Bank Account: 905 - Chase - Checking						
Check	04/22/2022	99772	Accounts Payable	A&B Fire Protection and Safety, Inc.		1.05
	Invoice		Date	Description		Amount
	333846A		03/02/2022	B529_Restaurant Bldg. - Service Fire Extinguishers		1.05
Check	04/22/2022	99773	Accounts Payable	Ace Hardware		18.01
	Invoice		Date	Description		Amount
	081697		04/11/2022	Evidence - Padlock		16.38
	081712		04/13/2022	Evidence - Fastners		1.63
Check	04/22/2022	99774	Accounts Payable	Ace Hardware		92.33
	Invoice		Date	Description		Amount
	081702		04/12/2022	Window Wash for Airport Maintenance Truck		8.72
	081587		03/28/2022	Supplies For Lighting_B528 T Hangar Bldg.		40.39
	081536		03/21/2022	Maint. Supplies_B528 (T Hangars) Exterior Light Repairs		43.22
Check	04/22/2022	99775	Accounts Payable	Andersen's Lock & Safe, Inc.		186.76
	Invoice		Date	Description		Amount
	42024		04/12/2022	key copies		186.76
Check	04/22/2022	99776	Accounts Payable	Aramark Uniform Service		309.25
	Invoice		Date	Description		Amount
	511000254577		04/13/2022	Uniform Service - Public Works Crew		17.81
	511000254580		04/13/2022	Uniform Service - Public Works Crew		220.93
	511000254585		04/13/2022	Uniform Service - Public Works Crew		70.51
Check	04/22/2022	99777	Accounts Payable	AT & T		18.51
	Invoice		Date	Description		Amount
	04-01-22		04/01/2022	Phone Service		18.51
Check	04/22/2022	99778	Accounts Payable	AT & T		70.54
	Invoice		Date	Description		Amount
	000018050459		04/13/2022	CALNET3-9391023436 (239-461-6578)		70.54
Check	04/22/2022	99779	Accounts Payable	Big Creek Lumber		134.48
	Invoice		Date	Description		Amount

Marina, CA LIVE
AP Check Register 04-22-22
 Bank Account: 905 - Chase - Checking
 Batch Date: 04/22/2022

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Check	1679744					
	04/22/2022	99780	Accounts Payable	Redwood Construction Heart Rough California Department of Justice		134.48 448.00 Amount
Check	571021					
	04/22/2022	99781	Accounts Payable	Livescans 04/05/2022 Carmel Fire Protection Associates		448.00 1,050.00 Amount
Check	2022-G					
	04/22/2022	99782	Accounts Payable	Apartment Inspections (14 apts) Carmel Roasters, Inc.		1,050.00 327.75 Amount
Check	63626					
	04/22/2022	99783	Accounts Payable	FD Coffee - 4 boxes Central Valley Toxicology		327.75 153.00 Amount
Check	318239					
	04/22/2022	99784	Accounts Payable	Toxicology MG220236 JP Morgan Commercial Card		153.00 394.99 Amount
Check	03-31-22					
	04/22/2022	99785	Accounts Payable	Mar 2022 Mastercard Charges Cheryl Kent		394.99 900.00 Amount
Check	2022-45					
	04/22/2022	99786	Accounts Payable	Code Enforcement Investigations Cintas Corporation		900.00 81.05 Amount
Check	4116662585					
	04/22/2022	99787	Accounts Payable	Mat Service-Police/Fire 04/15/22 Civicplus		81.05 3,007.77 Amount
Check	222156_City					
	04/22/2022	99788	Accounts Payable	City Website Hosting Services_City CSG Consultants		3,007.77 131,507.50 Amount
	42493					
				DUNES PHASE 2 EAST		9,820.50

Marina, CA LIVE
AP Check Register 04-22-22
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 Batch Date: 04/22/2022

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
	42494		03/11/2022	Dunes Op site 1A		2,100.00
	42495		03/11/2022	dunes phase 3 west		165.00
	42496		03/11/2022	hampton inn 120 reservation road		903.00
	42497		03/11/2022	Sea Haven Inspection Phase 3B		6,744.00
	42498		03/11/2022	SEA HAVEN PHASE 4 MAP/PLAN REVIEW		1,815.00
	42499		03/11/2022	seacrest apartments 3108 seacrest ave		1,419.00
	42500		03/11/2022	dunes phase 1b promenade		9,340.00
	42501		03/11/2022	Sea Haven Phase 4 Rough grading		5,676.00
	41379		01/14/2022	Imjin Widening (#401)		3,300.00
	41380		01/14/2022	2nd ave extension (#713)		825.00
	41384		01/14/2022	ADMINISTRATIVE SUPPORT		510.00
	36606		05/14/2021	MARINA STATION		2,230.00
	37837		07/13/2021	MARINA STATION		500.00
	39004		09/13/2021	MARINA STATION		515.00
	39006		09/13/2021	DUNES PHASE 2 EAST		3,837.00
	39007		09/13/2021	Dunes Op site 1B/C		165.00
	39470		10/08/2021	MARINA STATION		2,145.00
	39472		10/08/2021	dunes phase 2 east		6,726.00
	41381		01/14/2022	Permits/Development		19,584.00
	41389		01/14/2022	dunes phase 2 east		10,647.00
	41394		01/14/2022	Sea Haven Inspection Phase 3B		11,094.00
	40238		11/15/2021	marina station		495.00
	41386		01/14/2022	Sea Haven Phase 3 Map/Plan Review		3,217.50
	41387		01/14/2022	Sea Haven Phase 3a inspection		5,454.00
	41388		01/14/2022	Sea Haven Phase 5A Inspection		1,548.00
	41390		01/14/2022	dunes phase 2 west		370.00
	41391		01/14/2022	Dunes Op site 1A		1,320.00
	41392		01/14/2022	dunes phase 3 east		3,515.00
	41393		01/14/2022	DUNES PHASE 3 WEST		7,597.50
	41395		01/14/2022	SEA HAVEN PHASE 4 MAP/PLAN REVIEW		495.00
	41385		01/14/2022	junsay oaks senior apartment		330.00
	41396		01/14/2022	seacrest apartments 3108 seacrest ave		258.00
	41397		01/14/2022	dunes phase 1b promenade		1,650.00
	41398		01/14/2022	Via Del Mar Subdivision 3320 Abdy Way		330.00
	41399		01/14/2022	Sea Haven Phase 4 Rough grading		2,967.00

Marina, CA LIVE

AP Check Register 04-22-22

Bank Account: 905 - Chase - Checking

Batch Date: 04/22/2022

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Check	04/22/2022	99789	Accounts Payable	04/08/2022 Invoice Date Description Inspection by Eric Rodewald, CSG		1,900.00
Check	04/22/2022	99790	Accounts Payable	04/01/2022 Invoice Date Description MONTHLY SITE INSPECTIONS AS DESIGNATED OPERATOR		90.00
Check	04/22/2022	99791	Accounts Payable	03/26/2022 Invoice Date Description TV Service for Pilot's Lounge		14.07
Check	04/22/2022	99792	Accounts Payable	02/20/2022 Invoice Date Description Don Chapin Company, Inc.		7,617.89
Check	04/22/2022	99793	Accounts Payable	02/20/2022 Invoice Date Description Airport Capital Project - Storm Drain Mitigation		4,571.46
Check	04/22/2022	99794	Accounts Payable	02/20/2022 Invoice Date Description Airport Capital Proj. - Storm Drain Mitigation _Retention		3,046.43
Check	04/22/2022	99795	Accounts Payable	02/20/2022 Invoice Date Description East Bay Tire Co.		2,504.35
Check	04/22/2022	99796	Accounts Payable	02/03/2022 Invoice Date Description Tires/Service Call		2,265.35
Check	04/22/2022	99797	Accounts Payable	02/11/2022 Invoice Date Description Two Axle Truck Alignment		239.00
Check	04/22/2022	99798	Accounts Payable	04/14/2022 Invoice Date Description Emergency Vehicle Specialists		2,723.81
Check	04/22/2022	99799	Accounts Payable	04/18/2022 Invoice Date Description Unication GS P25 Voice Pager Dual Band, dual charging		1,978.81
Check	04/22/2022	99800	Accounts Payable	04/18/2022 Invoice Date Description Outside Tech - Linex Truck Bed for 2022 Ford		745.00
Check	04/22/2022	99801	Accounts Payable	04/22/2022 Invoice Date Description Epic Aviation		81,707.97
Check	04/22/2022	99802	Accounts Payable	03/29/2022 Invoice Date Description Airport_AVGAS/100LL Fuel Purchase		48,644.92
Check	04/22/2022	99803	Accounts Payable	04/14/2022 Invoice Date Description Airport_Jet A Fuel Purchase		33,063.05
Check	04/22/2022	99804	Accounts Payable	04/22/2022 Invoice Date Description FailSafe Testing LLC		1,467.50
Check	04/22/2022	99805	Accounts Payable	04/04/2022 Invoice Date Description Annual Ladder Testing		1,467.50
Check	04/22/2022	99806	Accounts Payable	04/22/2022 Invoice Date Description FedEx		31.50
Check	04/22/2022	99807	Accounts Payable	04/15/2022 Invoice Date Description Express Shipping		31.50

User: Monika Collier

Pages: 4 of 11

4/21/2022 9:42:49 AM

Marina, CA LIVE

AP Check Register 04-22-22

Bank Account: 905 - Chase - Checking
Batch Date: 04/22/2022

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Check	04/22/2022	99797	Accounts Payable	First Alarm		724.95
	Invoice		Date	Description		Amount
	675937		04/15/2022	Alarm Monitoring - City Hall - May-July 2022		118.02
	677141		04/15/2022	Alarm Monitoring - 327 Reindollar Ave - May-July 2022		146.16
	678393		04/15/2022	Fire Alarm Services_B510		460.77
Check	04/22/2022	99798	Accounts Payable	Formation Environmental, LLC		5,283.75
	Invoice		Date	Description		Amount
	6933		03/27/2022	Groundwater Sustainability Plan		5,283.75
Check	04/22/2022	99799	Accounts Payable	Gatzke Dillon & Ballance		175.00
	Invoice		Date	Description		Amount
	13829		03/11/2022	Airport - FAA Issues - February 1- 28, 2022		175.00
Check	04/22/2022	99800	Accounts Payable	Gavilan Pest Control		2,612.00
	Invoice		Date	Description		Amount
	0143820		02/28/2022	Airport Pest Control Services		1,150.00
	0143821		02/28/2022	Airport Pest Control Services_B504		75.00
	0144438		03/31/2022	Airport Pest Control Services		1,150.00
	0144439		03/31/2022	Airport Pest Control Services_B504		75.00
	0145313		04/07/2022	Marina PU/Rodents		80.00
	0145311		04/04/2022	marina 3 rodents		82.00
Check	04/22/2022	99801	Accounts Payable	Goldfarb & Lipman		9,472.00
	Invoice		Date	Description		Amount
	144785		04/18/2022	General File - March 2022		704.00
	144787		04/18/2022	The Dunes - March 2022		5,728.00
	144786		04/18/2022	Marina Heights - March 2022		3,040.00
Check	04/22/2022	99802	Accounts Payable	Green Line		1,410.00
	Invoice		Date	Description		Amount
	67410		03/22/2022	Service of Aircraft Wash Rack Oil/Water Separator		1,410.00
Check	04/22/2022	99803	Accounts Payable	L.N. Curtis & Sons		200.95
	Invoice		Date	Description		Amount
	INV585806		04/11/2022	CitroSqueeze PPE/Turnout Cleaner		200.95

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AP Check Register 04-22-22

Bank Account: 905 - Chase - Checking
Batch Date: 04/22/2022

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Check	04/22/2022	99804	Accounts Payable	M & A Steam		800.00
	Invoice		Date	Description		Amount
	2781		02/15/2022	B529_Restaurant Bldg. - Steam Clean Kitchen Exhaust System		800.00
Check	04/22/2022	99805	Accounts Payable	Marina Coast Water District		8,064.01
	Invoice		Date	Description		Amount
	000056049 033122		03/31/2022	injin rd irrigation/backflow accts		1,139.62
	000056036 033122		03/31/2022	2nd ave/divarty & intergarrison		171.02
	000056037 033122		03/31/2022	2nd ave		171.02
	000056095 033122		03/31/2022	2nd ave		171.02
	000056099 033122		03/31/2022	9th street west of 2nd ave		1,595.77
	000056100 033122		03/31/2022	9th street irrigation parcels L&M		640.96
	000056087 040822		04/08/2022	Crescent Ave/Costa Del Mar Irrigation		27.26
	000056030 040822		04/08/2022	Crescent Ave/Reser Rd/Ramada Inn		36.77
	000056008 040822		04/08/2022	Reservation & Del Monte		27.26
	000056085 040822		04/08/2022	Crescent/Whitney Irrigation		27.26
	000056086 040822		04/08/2022	Crescent Ave/Sirena Del Mar Irrigation		27.26
	000056084 040822		04/08/2022	Crescent/Shuler/Irrigation		27.26
	000056032 040822		04/08/2022	Crescent Ave/Costa Del Mar East Side		60.52
	000056098 040822		04/08/2022	3254 Abdy Way (Tate Park Building)		50.60
	000056034 040822		04/08/2022	3240 De Forest Road		408.94
	000056015 040822		04/08/2022	Corner of Cardoza & Dolphin Circle		60.52
	000056011 040822		04/08/2022	3254 Abdy Way (Tate Park Irrigation)		1,896.78
	000056014 040822		04/08/2022	3200 Del Monte Blvd		1,524.17
Check	04/22/2022	99806	Accounts Payable	Monterey Bay Systems		552.23
	Invoice		Date	Description		Amount
	422877		04/06/2022	City Hall Copier Maintenance Contract		552.23
Check	04/22/2022	99807	Accounts Payable	Monterey One Water		540.10
	Invoice		Date	Description		Amount
	13-000148_030122		03/31/2022	Sewer Service_B520		40.30
	13-000149_030122		03/31/2022	Sewer Service_B521		24.20
	13-000153_030122		03/31/2022	Sewer Service_B529		24.20
	13-000157_030122		03/31/2022	Sewer Service_B533		161.20

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AP Check Register 04-22-22

Bank Account: 905 - Chase - Checking

Batch Date: 04/22/2022

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Check	13-000158_030122	03/31/2022		Sewer Service_B535		40.30
	13-000159_030122	03/31/2022		Sewer Service_B524		185.40
	13-000144_030122	03/31/2022		Sewer Service_B507		24.20
	13-000145_030122	03/31/2022		Sewer Service_B514		40.30
Check	04/22/2022	99808	Accounts Payable	Monterey Tire Service		76.93
	Invoice		Date	Description		Amount
Check	1-105604	04/06/2022		2 Front Mount Tires 17 Chevy Caprice		76.93
	04/22/2022	99809	Accounts Payable	Motorola Solutions, Inc.		299.00
	Invoice		Date	Description		Amount
	8281362231	04/18/2022		APX RM Download		299.00
Check	04/22/2022	99810	Accounts Payable	Nick R. Martinez		300.00
	Invoice		Date	Description		Amount
Check	M022-006	04/01/2022		Cannabis Background Checks/Investigations		300.00
	04/22/2022	99811	Accounts Payable	Municipal Emergency Services Inc.		701.24
	Invoice		Date	Description		Amount
	IN1698459	04/07/2022		Fire ProX, SEEK TIC Gear Keeper w/Aluminum Carabiner		701.24
Check	04/22/2022	99812	Accounts Payable	My Chevrolet		1,335.03
	Invoice		Date	Description		Amount
Check	CVC5245783	04/08/2022		Veh Maintenance 15 Chevy Caprice		1,335.03
	04/22/2022	99813	Accounts Payable	MyFleetCenter - Wisconsin Quick Lube		76.50
	Invoice		Date	Description		Amount
	36758496	04/14/2022		Oil Change 2008 Ford Ranger		76.50
Check	04/22/2022	99814	Accounts Payable	New Image Landscape Co.		5,780.00
	Invoice		Date	Description		Amount
Check	416049	01/31/2022		tree trimming 3283 cove way		3,640.00
	136728	01/31/2022		landscape maintenance for January 2022		2,140.00
	04/22/2022	99815	Accounts Payable	Newton Bros. Tire & Auto		1,709.03
	Invoice		Date	Description		Amount
	432027	04/12/2022		Brakes/Rotors for 20 Durango		639.72

User: Monika Collier

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AP Check Register 04-22-22

Bank Account: 905 - Chase - Checking

Batch Date: 04/22/2022

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Check	431889			New Tires & Alignment for Airport Maintenance Truck		1,069.31
	04/22/2022	99816	Accounts Payable	NPM, Inc.		802.20
	Invoice		Date	Description		Amount
Check	183899			Fuel Farm Trouble Shooting & Repairs		802.20
	04/22/2022	99817	Accounts Payable	Ocean Rock Church Inc.		250.00
	Invoice		Date	Description		Amount
Check	04-17-22 vd			Rental Refund - Vince DiMaggio		250.00
	04/22/2022	99818	Accounts Payable	Office Depot		426.39
	Invoice		Date	Description		Amount
Check	2566029845			Office Supplies		426.39
	04/22/2022	99819	Accounts Payable	Pacific Gas & Electric		25,804.60
	Invoice		Date	Description		Amount
Check	353-7.APR22			PG&E - 9930567353-7		52.83
	562-0.APR22			PG&E - 4758891562-0		1,098.47
	085-2.APR22			PG&E - 5434906085-2		112.52
	582-7.APR22			PG&E - 8161432582-7		143.38
	148-6.APR22			PG&E - 5593414148-6		215.02
	720-0.APR22			PG&E - 0167505720-0		1,021.85
	202-3.APR22			PG&E - 6594070202-3		122.98
	943-2.APR22			PG&E - 6150212943-2		79.36
	210-0.APR22			PG&E - 3242976210-0		186.40
	827-8.APR22			PG&E - 0423929827-8		125.40
	535-3.APR22			PG&E - 6161832535-3		246.44
	098-7.APR22			Utilities_ B524		6,381.78
	103-6.APR22			Utilities_ B507		12,957.34
	347-0.APR22			Utilities_ B519		554.79
	694-1.APR22			Utilities_ B533		1,661.89
	451-7.APR22			Utilities_ B554		336.79
	415-6.APR22			Utilities_ B504		203.28
	288-5.APR22			Utilities_ B520		304.08
	04/22/2022	99820	Accounts Payable	Quill Corporation		297.08

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AP Check Register 04-22-22

Bank Account: 905 - Chase - Checking

Batch Date: 04/22/2022

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Check	Invoice		Date	Description		Amount
	24156961		03/30/2022	Office Supplies		102.13
	24123619		03/29/2022	Office Supplies		84.65
	24347941		04/07/2022	Office Supplies		110.30
Check	04/22/2022	99821	Accounts Payable	Reserve Account - Pitney Bowes		114.68
	Invoice		Date	Description		Amount
Check	1020498359		04/11/2022	Replacement Ink Cartridge		114.68
	04/22/2022	99822	Accounts Payable	Rincon Consultants, Inc.		6,564.25
	Invoice		Date	Description		Amount
	37110		02/15/2022	DVSP-01/2022		5,845.75
Check	35045		11/19/2021	DVSP-10/2021		718.50
	04/22/2022	99823	Accounts Payable	Robert R. Wellington		12,560.00
	Invoice		Date	Description		Amount
	26149		04/14/2022	Marina Equestrian Center - March 2022		460.00
	26150		04/14/2022	Misc Litigation Matters - March 2022		40.00
	26151		04/14/2022	Misc Personnel Matters - March 2022		200.00
	26152		04/14/2022	Police Personnel Matters - March 2022		800.00
	26146		04/14/2022	General Matters - March 2022		2,560.00
	26145		04/14/2022	Election Matters - March 2022		60.00
	26143		04/14/2022	Cal Am Matters - March 2022		60.00
	26144		04/14/2022	Cannabis Matters - March 2022		240.00
	26154		04/14/2022	Abrams Park-Marina Height-Sea Haven - March 2022		840.00
	26153		04/14/2022	Public Records Act Requests - March 2022		500.00
	26148		04/14/2022	Land Use & Operations - March 2022		3,060.00
	26147		04/14/2022	Joby Aero Inc_March 2022		860.00
	26142		04/14/2022	Marina Municipal Airport Matters_March 2022		2,880.00
Check	04/22/2022	99824	Accounts Payable	Sara Steck Myers		7,350.00
	Invoice		Date	Description		Amount
Check	04-01-22		04/01/2022	Professional Services - MPWSP - March 2022		7,350.00
	04/22/2022	99825	Accounts Payable	Sentry Alarm Systems of America, Inc.		690.90
	Invoice		Date	Description		Amount

AP Check Register 04-22-22

Bank Account: 905 - Chase - Checking

Batch Date: 04/22/2022

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Check	2188629		04/15/2022	South Field Office		150.00
	2188628		04/15/2022	East Field Office		540.90
	04/22/2022	99826	Accounts Payable	Sierra Springs & Alhambra		130.72
	Invoice		Date	Description		Amount
Check	7266038	041522	04/15/2022	Water Cooler Rental and Replacement Water		68.36
	7266038	031822	03/18/2022	Water Cooler Rental and Replacement Water		62.36
	04/22/2022	99827	Accounts Payable	Tartaglia Engineering		14,924.00
	Invoice		Date	Description		Amount
Check	01GCS_2022		04/04/2022	Airport_General Consulting Services		14,924.00
	04/22/2022	99828	Accounts Payable	Tevita Tulua		250.00
	Invoice		Date	Description		Amount
Check	04-09-22 vd		04/09/2022	Deposit Refund - Vince DiMaggio		250.00
	04/22/2022	99829	Accounts Payable	Tri County Fire Protection		995.26
	Invoice		Date	Description		Amount
Check	HP57979		03/29/2022	Service Fire Extinguishers_B554 & B528 (T & Box Hangars)		995.26
	04/22/2022	99830	Accounts Payable	Uline Shipping Supply		99.74
	Invoice		Date	Description		Amount
Check	146645478		03/22/2022	Fuel Spill Cleanup Supplies		99.74
	04/22/2022	99831	Accounts Payable	Verizon Wireless		293.23
	Invoice		Date	Description		Amount
Check	9903800060		04/10/2022	Monthly Verizon Bill-308174766		293.23
	04/22/2022	99832	Accounts Payable	Wald, Ruhnke & Dost Architects, LLP		6,420.00
	Invoice		Date	Description		Amount
Check	2124902		03/31/2022	Visual Arts Building 030122-033122		6,420.00
	04/22/2022	99833	Accounts Payable	Wallace Group, Inc.		2,060.25
	Invoice		Date	Description		Amount
	55771		03/30/2022	Airport Capital Project - Fuel Farm 10LL Tank Replacement		111.25
	55872		04/04/2022	Program Management - Airport Capital Projects		1,861.50
	55772		03/30/2022	Program Management - Airport Capital Projects		87.50

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AP Check Register 04-22-22

Bank Account: 905 - Chase - Checking
Batch Date: 04/22/2022

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Check	04/22/2022	99834	Accounts Payable	William A. Thayer Construction, Inc		8,868.00
	Invoice		Date	Description		Amount
	03-07-22		03/07/2022	Progress Pmt. 1_ B533 Replace (6) Exterior Doors		8,868.00
Check	04/22/2022	99835	Accounts Payable	Zoom Imaging Solutions		32.78
	Invoice		Date	Description		Amount
	IN2598010		04/11/2022	Shipping charges for Copier Toner		32.78
Check	04/22/2022	99836	Accounts Payable	Marina Employees Association		140.00
	Invoice		Date	Description		Amount
	04-15-22		04/15/2022	24 - MEA Dues		140.00
Check	04/22/2022	99837	Accounts Payable	Marina Professional Fire Fighters Association		300.00
	Invoice		Date	Description		Amount
	04-15-22		04/15/2022	35 - MPFFA Dues		300.00
EFT	04/22/2022	2223	Accounts Payable	Marina Police Association-MPOA	322271627 / 901587928	260.00
	Invoice		Date	Description		Amount
	04-15-22		04/15/2022	23 - MPOA Dues		260.00
EFT	04/22/2022	2224	Accounts Payable	Police Officers Association - POA	322271627 / 901589106	1,359.05
	Invoice		Date	Description		Amount
	04-15-22		04/15/2022	25 - POA Dues		1,359.05
905 Chase - Checking Totals:						\$365,963.93
Transactions: 68						

Checks: 66 \$364,344.88
EFTs: 2 \$1,619.05

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AP Check Register 04-29-22

Bank Account: 905 - Chase - Checking
Batch Date: 04/29/2022

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Bank Account: 905 - Chase - Checking						
Check	04/29/2022	99838	Accounts Payable	Ace Hardware		145.42
	Invoice		Date	Description		Amount
	081711		04/13/2022	Bar & Chain Oil QT		19.64
	081723		04/14/2022	Shockwave Imp Step Bit#3		60.08
	081731		04/15/2022	Angle Right Bit Ext 12"		43.69
	081761		04/19/2022	Crimped End Brush 1"		9.82
	081774		04/20/2022	KeyKrafter #68 Brass Key		4.35
	081795		04/22/2022	KeyKrafter #68N CP Brass		7.84
Check	04/29/2022	99839	Accounts Payable	Adams Ashby Group, Inc.		4,300.00
	Invoice		Date	Description		Amount
	4197		04/01/2022	2022 HOME Long Term Monitoring - Rockrose Garden Grant		4,300.00
Check	04/29/2022	99840	Accounts Payable	Aramark Uniform Service		728.96
	Invoice		Date	Description		Amount
	511000258399		04/20/2022	Shop Items Public Works		70.51
	511000258397		04/20/2022	Public Works		489.28
	511000258394		04/20/2022	Public Works Uniform		17.81
	511000258396		04/20/2022	Public Works Uniform		151.36
Check	04/29/2022	99841	Accounts Payable	ARC Document Solutions		282.96
	Invoice		Date	Description		Amount
	2567834		04/15/2022	ARC 04/15/22		282.96
Check	04/29/2022	99842	Accounts Payable	AT & T		925.44
	Invoice		Date	Description		Amount
	04-13-22		04/13/2022	AT&T 831-582-9957		225.18
	04-14-22		04/14/2022	Phone Service 04/14/2022		700.26
Check	04/29/2022	99843	Accounts Payable	AT & T		565.38
	Invoice		Date	Description		Amount
	000018059681		04/15/2022	CALNET3-9391023490 (884-9568)		41.50
	000018059676		04/15/2022	CALNET3-9391023485 (884-2573)		23.60
	000018059674		04/15/2022	CALNET3-9391023482 (884-0985)		22.43
	000018059682		04/15/2022	CALNET3-9391023491 (884-9654)		83.43

AP Check Register 04-29-22

Bank Account: 905 - Chase - Checking

Batch Date: 04/29/2022

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Check	000018059705	04/15/2022		CALNET3-9391023435 (237-267-6922)		184.16
	000018050496	04/13/2022		Radio Repeater 04/13/2022		167.08
	000018059670	04/15/2022		South Field Office 04/15/2022		43.18
	04/29/2022	99844	Accounts Payable	Branch's Janitorial		5,121.35
Check	Invoice	Date	Description		Amount	
	228383	04/25/2022	Custodial Service for April 2022		2,886.35	
	228385	04/25/2022	Janitorial Service - Police/Fire/Airport April 2022		2,235.00	
	04/29/2022	99845	Accounts Payable	Carmel Fire Protection Associates		800.00
Check	Invoice	Date	Description		Amount	
	122138	04/15/2022	Plan review and inspection at Marina Airport Bldg Remodel, 3200		200.00	
	122139	04/15/2022	Plan review and inspection at Joby Kitchen, 771 Neeson		200.00	
	122140	04/16/2022	Plan review and inspection at Brass Tap Pub General Stillwell		200.00	
Check	122142	04/16/2022	Plan review and inspection at Starbucks TI, 200 Reservation Road		200.00	
	04/29/2022	99846	Accounts Payable	Cheryl Kent		960.00
	Invoice	Date	Description		Amount	
	2022-50	04/26/2022	Code Enforcement Investigations		960.00	
Check	04/29/2022	99847	Accounts Payable	Petty Cash		1,961.20
	Invoice	Date	Description		Amount	
	04-21-22	04/21/2022	Replenish Petty Cash		1,961.20	
	04/29/2022	99848	Accounts Payable	Community Hospital of the Monterey Peninsula		27.00
Check	Invoice	Date	Description		Amount	
	04-08-22	04/08/2022	Blood Draw Garcia, Pablo 04/08/2022		27.00	
	04/29/2022	99849	Accounts Payable	Cordico Psychological Corporation		400.00
	Invoice	Date	Description		Amount	
Check	5550	02/15/2022	Pre-Employment Psych Eval - Kimberly Ruelas		400.00	
	04/29/2022	99850	Accounts Payable	CSG Consultants		20,444.85
	Invoice	Date	Description		Amount	
	41956	02/11/2022	Injin Widening (#401)		2,640.00	
Check	B220523	04/04/2022	Building Plan Review Services		1,289.35	

Marina, CA LIVE
AP Check Register 04-29-22
 Bank Account: 905 - Chase - Checking
 Batch Date: 04/29/2022

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Check	42942		04/08/2022	Building Inspections		16,515.50
	04/29/2022	99851	Accounts Payable	Dooley Enterprises, Inc.		4,260.60
	Invoice		Date	Description		Amount
Check	62704		04/04/2022	Duty and Training Ammunition		4,260.60
	04/29/2022	99852	Accounts Payable	DTEN Inc.		8,301.92
	Invoice		Date	Description		Amount
Check	811352		03/04/2022	D7 55" Dual Monitors (conference room)		8,301.92
	04/29/2022	99853	Accounts Payable	Emergency Vehicle Specialists		354.00
	Invoice		Date	Description		Amount
Check	13770		04/21/2022	On Site Labor and Repair- Units 817 & 819		354.00
	04/29/2022	99854	Accounts Payable	First Alarm		105.00
	Invoice		Date	Description		Amount
Check	678839		04/14/2022	Remote Access New Code Entry - Council Chambers		35.00
	678840		04/14/2022	Remote Access New Code Entry - Annex Building		35.00
	678838		04/14/2022	Remote Access New Code Entry - City Hall		35.00
Check	04/29/2022	99855	Accounts Payable	Harris & Associates		975.00
	Invoice		Date	Description		Amount
	51578		02/14/2022	Harris & Associates January		975.00
Check	04/29/2022	99856	Accounts Payable	Kimley-Horn & Associates		35,078.90
	Invoice		Date	Description		Amount
	21255822		03/31/2022	Marina LSRP		5,078.22
	21255695		03/31/2022	Developmental Impact Fee		1,505.68
	21255664		03/31/2022	Kimley Horn March 2022		23,176.00
	21255673		03/31/2022	Kimley Horn March 2022		1,986.00
	097789008-0322		03/31/2022	Injin Parkway Widening Project PS&E		3,333.00
Check	04/29/2022	99857	Accounts Payable	Liebert Cassidy Whitmore		7,268.00
	Invoice		Date	Description		Amount
	215953		03/31/2022	LCW - Professional Services		203.00
	215952		03/31/2022	LCW - Professional Services		870.00
	215955		03/31/2022	LCW - Professional Services		464.00

Marina, CA LIVE
AP Check Register 04-29-22
 Bank Account: 905 - Chase - Checking
 Batch Date: 04/29/2022

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Check	215954		03/31/2022	LCW - Professional Services		62.00
	215957		03/31/2022	LCW - Professional Services		2,955.00
	215956		03/31/2022	LCW - Professional Services		780.00
	215951		03/31/2022	LCW - Professional Services		1,934.00
Check	04/29/2022	99858	Accounts Payable	M3 Environmental Consulting, LLC		74,878.50
	Invoice		Date	Description		Amount
Check	2134103		01/31/2022	Blight Removal Project		74,878.50
	04/29/2022	99859	Accounts Payable	Marina Coast Water District		1,900.98
	Invoice		Date	Description		Amount
	000056025	041422	04/14/2022	327 Reindollar Ave		69.16
	000056027	041422	04/14/2022	Calif Ave at Reindollar		36.77
	000056007	041422	04/14/2022	Calif Ave/North of 3rd		89.02
	000056005	041422	04/14/2022	Calif & North Patton Parkway		89.02
	000056001	041422	04/14/2022	209-13 Cypress Ave		102.85
	000056024	041422	04/14/2022	Del Monte/Palm		89.02
	000056017	041422	04/14/2022	208-A Palm Ave		80.86
	000056021	041422	04/14/2022	Reservation Rd/By 290-308 Reservation		36.77
	000056022	041422	04/14/2022	Reser/Marina Auto Stereo/Irrigation		36.77
	000056019	041422	04/14/2022	211 Hillcrest Ave		1,022.98
	000056018	041422	04/14/2022	208 Palm Ave		96.32
	000056016	041422	04/14/2022	Resev Rd & Seacrest Ave-Next to Fire Hyd		36.77
	000056020	041422	04/14/2022	304 Hillcrest Ave		114.67
Check	04/29/2022	99860	Accounts Payable	Monterey County Petroleum-Sturdy Oil Co.		6,718.48
	Invoice		Date	Description		Amount
Check	28986A-IN		04/11/2022	Gasoline/Diesel		6,718.48
	04/29/2022	99861	Accounts Payable	Office Depot		125.37
	Invoice		Date	Description		Amount
	231998922003		04/12/2022	Planning supplies		11.05
Check	235169309001		04/20/2022	Office Depot-Planning supplies		114.32
	04/29/2022	99862	Accounts Payable	Pacific Gas & Electric		17,812.70
	Invoice		Date	Description		Amount

Marina, CA LIVE
AP Check Register 04-29-22
 Bank Account: 905 - Chase - Checking
 Batch Date: 04/29/2022

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Check	608-2.APR22			Gas & Electric at Station 2		993.95
	851-0.APR22			PG&E - 3440977851-0		178.07
	795-7.APR22			PG&E - 4467294795-7		400.94
	172-2.APR22			PG&E - 5618207172-2		807.79
	362-7.APR22			PG&E - 5996678362-9		138.75
	272-1.APR22			PG&E - 2862559272-1		41.43
	683-2.APR22			PG&E 6217294683-2		1,428.91
	483-6.APR22			PG&E - 3982644483-6		13,737.90
	767-2.APR22			751 Neeson Rd Bldg 526 04/12/2022		84.96
	04/29/2022	99863	Accounts Payable	Quill Corporation		173.43
Check	Invoice			Description		Amount
	24513016			Records 04/15/2022		66.63
	24475543			Evidence 04/13/2022		58.75
	24510849			Records 04/15/2022		22.93
	24480882			Records 04/14/2022		25.12
Check	04/29/2022	99864	Accounts Payable	Reserve Account - Pitney Bowes		1,500.00
	Invoice			Description		Amount
Check	04-26-22			Postage Meter Refill		1,500.00
	04/29/2022	99865	Accounts Payable	Rincon Consultants, Inc.		7,609.50
	Invoice			Description		Amount
Check	38453			DVSP-March 2022		7,609.50
	04/29/2022	99866	Accounts Payable	Ryan Ranch Printers		103.79
	Invoice			Description		Amount
Check	22950			Business Cards for Division Chief Vega		103.79
	04/29/2022	99867	Accounts Payable	Sierra Springs & Alhambra		90.84
	Invoice			Description		Amount
Check	14225799 041322			5 Gallon Fresh Water Delivery Service Eng		90.84
	04/29/2022	99868	Accounts Payable	Suburban Propane		1.00
	Invoice			Description		Amount
	04-14-22			Bulk Tank Rent - 1 year		1.00

Marina, CA LIVE

AP Check Register 04-29-22

Bank Account: 905 - Chase - Checking
Batch Date: 04/29/2022

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Check	04/29/2022	99869	Accounts Payable	United Site Services		260.13
	Invoice		Date	Description		Amount
	114-13038004		04/22/2022	ADA for Windyhill Park		260.13
Check	04/29/2022	99870	Accounts Payable	Verde Design, Inc.		1,727.58
	Invoice		Date	Description		Amount
	12-2012501		12/13/2021	Glorya Jean Tate Park Pump, Track & Restroom Improvements		1,727.58
Check	04/29/2022	99871	Accounts Payable	Wallace Group, Inc.		31,811.05
	Invoice		Date	Description		Amount
	55871		04/04/2022	Program Management		31,811.05
Check	04/29/2022	99872	Accounts Payable	Zoom Imaging Solutions		12.49
	Invoice		Date	Description		Amount
	IN2614018		04/18/2022	Maintenance Contract - 01/07/22 to 04/16/22		12.49
Check	04/29/2022	99873	Accounts Payable	Vision Service Plan		2,007.28
	Invoice		Date	Description		Amount
	05-01-22		05/01/2022	103 - Vision EE*		1,848.42
	05-01-22.		05/01/2022	VSP Adjustment (05/2022)		158.86
EFT	04/29/2022	2229	Accounts Payable	Richard B. Standridge	121042882 / 8312012522	3,467.50
	Invoice		Date	Description		Amount
	22-08		04/22/2022	Services 04-11/04-21-22		3,467.50
EFT	04/29/2022	2230	Accounts Payable	Wex Bank	071000288 / 4539508	123.46
	Invoice		Date	Description		Amount
	79696576		03/23/2022	Patrol Gas Cards		123.46
905 Chase - Checking Totals:						\$243,330.06
Transactions: 38						
Checks: 36 \$239,739.10						
EFTs: 2 \$3,590.96						

Marina, CA LIVE

SA Check Register 04.22.22

Bank Account: 921 - Chase - Successor Agency
Batch Date: 04/22/2022

Type	Date	Number	Source	Payee Name	EFT Bank/Account	Transaction Amount
Bank Account: 921 - Chase - Successor Agency						
Check	04/22/2022	84	Accounts Payable	Civicplus		334.20
	Invoice			Description		Amount
	222156_SA			City Website Hosting Services_SA		334.20
921 Chase - Successor Agency Totals:						\$334.20
Checks: 1						\$334.20
Transactions: 1						



DRAFT

Agenda Item: **8b(1)**
City Council Meeting of
May 3, 2022

MINUTES

Tuesday, April 19, 2022

5:00 P.M. Closed Session

6:30 P.M. Open Session

REGULAR MEETING

**CITY COUNCIL, AIRPORT COMMISSION,
MARINA ABRAMS B NON-PROFIT CORPORATION, PRESTON PARK SUSTAINABLE
COMMUNITY NON-PROFIT CORPORATION, SUCCESSOR AGENCY OF THE FORMER
MARINA REDEVELOPMENT AGENCY AND MARINA GROUNDWATER
SUSTAINABILITY AGENCY**

Council Chambers
211 Hillcrest Avenue
Marina, California

Zoom Meeting URL: <https://zoom.us/j/730251556>

Zoom Meeting Telephone Only Participation: 1-669-900-9128 - Webinar ID: 730 251 556

In accordance with California Government Code §54953(e)(1)(A) and (C) and the Proclamation of a State of Emergency issued by Governor Newsom on March 4, 2020, under the provisions of Government Code §8625 related to the COVID-19 (coronavirus) pandemic, consistent with recommendations by State and local health officials regarding social distancing and in order to prevent an imminent risk to the health and safety of attendees as determined in Resolution 2022-34, public participation in City of Marina City Council public meetings shall be electronic only and without a physical location for public participation until the earlier of April 30, 2022, or such time as the City Council may adopt a resolution in accordance with Government Code §54953(e)(3). This meeting is being broadcast “live” on Access Media Productions (AMP) Community Television Cable 25 and on the City of Marina Channel and on the internet at <https://accessmediaproductions.org/>

1. CALL TO ORDER
2. ROLL CALL & ESTABLISHMENT OF QUORUM: (City Council, Airport Commissioners, Marina Abrams B Non-Profit Corporation, Preston Park Sustainable Communities Nonprofit Corporation, Successor Agency of the Former Redevelopment Agency Members and Marina Groundwater Sustainability Agency)

MEMBERS PRESENT: Cristina Medina Dirksen (arrived 8:03 p.m.), David Burnett, Lisa Berkley, Mayor Pro-Tem/Vice Chair Kathy Biala, Mayor/Chair Bruce C. Delgado
3. CLOSED SESSION: *As permitted by Government Code Section 54956 et seq., the (City Council, Airport Commissioners, Marina Abrams B Non-Profit Corporation, Preston Park Sustainable Communities Nonprofit Corporation, Successor Agency of the Former Redevelopment Agency Members and Marina Groundwater Sustainability Agency) may adjourn to a Closed or Executive Session to consider specific matters dealing with litigation, certain personnel matters, property negotiations or to confer with the City’s Meyers-Miliias-Brown Act representative.*
 - a. Conference with Legal Counsel, anticipated litigation, significant exposure to litigation pursuant to paragraph (2) or (3) of subdivision (d) of CA Govt. Code sec. 54956.9 – one potential case.

- b. Public Employment Appointment (Govt. Code Section 54957(b)(1):
Position: City Attorney
- c. Property Negotiations
 - i. Property: Marina Station Project, a 320-acres site located on the northern boundary of the City, APNs 203-011-023, 203-011-024, 175-011-038, 175-011-045 and 175-011-046).
Negotiating Party: Valle Del Sol Properties, LLC, the Rameriz Family Revocable Trust, the Villam Legacy Irrevocable Trust, and 3rd Millennium Partners, Inc.
Property Negotiator: City Manager
Terms: Price and Terms

6:30 PM - RECONVENE OPEN SESSION AND REPORT ON ANY ACTIONS TAKEN IN CLOSED SESSION

Robert Wellington, Legal Counsel reported out Closed Session: The council went into closed session at with regard to the 3 agenda items that are listed for the closed session. Council received information, the matters were discussed at length by the Council, and no reportable action was taken.

- 4. **MOMENT OF SILENCE & PLEDGE OF ALLEGIANCE** (Please stand)
- 5. **SPECIAL PRESENTATIONS:** None
- 6. **SPECIAL ANNOUNCEMENTS AND COMMUNICATIONS FROM THE FLOOR:** *Any member of the Public or the City Council may make an announcement of special events or meetings of interest as information to Council and Public. Any member of the public may comment on any matter within the City Council's jurisdiction which is not on the agenda. Please state your name for the record. Action will not be taken on an item that is not on the agenda. If it requires action, it will be referred to staff and/or placed on a future agenda. City Council members or City staff may briefly respond to statements made or questions posed as permitted by Government Code Section 54954.2. In order that all interested parties have an opportunity to speak, please limit comments to a maximum of four (4) minutes. Any member of the public may comment on any matter listed on this agenda at the time the matter is being considered by the City Council.*
 - Mike Owen – Commented on the tree permits to clear cut between 9th Street and 7th Street along 2nd Ave by the developers of the Dunes. Commented on how the City of Carmel has trees along the sidewalks in their downtown. Spoke about the root system of the Monterey Cypress. Spoke about when the trees were planted on the former Fort Ord. Noted there was no need to remove trees to put in sidewalks and sewer lines.
 - Nick Kite – Spoke about the Marina Youth Arts Utility Box Art project open to all Marina residents under the age of 18. Announced the Monterey Stinging Jellies Disc Golf Club 2nd Annual Junior Jellies Disc Golf Day on Sunday, April 24, 2022, from 10:00am to 3:00pm at 304 Hillcrest Avenue. Commented on the homeless encampment along Salinas Avenue and Reservation Road. What is the City doing to address this issue?
 - Amy Warren – Spoke about the Equestrian Center Park Easter egg hunt and photos with the Easter Bunny, has about 200 community members. Announced on April 30th from 9:00am-3:00pm will be hosting a natural horsemanship clinic in the main arena. Spoke about upcoming events in May and June for the public to enjoy. Requested an update on the status of the future of the Equestrian Center and POU.

- Paula Pelot – Commented on helping an elderly woman in Pacific Grove and learned she was living in her car behind a church along with several other women. Spoke of the housing crisis people are facing and the need for rent stabilization, rental registries and vacancy controls.
- Brian McCarthy – Spoke about trying to view our city agenda on his phone from our website and read a part of the State Code related to direct link to the agenda. Asked is city could reconsider the way it posts agendas and the agenda packet for easier reading.
- Council Member Berkley – Spoke and Earth Day and those residents of Marina can pick up a free compost food waste bin at City Hall. Announced on April 21st Marina High Schools will be celebrating their 15th Anniversary from 6:00-7:00pm.
- Council Member Burnett – Suggested that is might be helpful is if the Planning Commission could host a town hall or a general meeting where the citizens are able to comment on the status of trees in our city and give the committee some input. Commented on some new technology that allows a person to view large documents without downloading them.
- Mayor Pro-Tem Biala – Announced May if American Asian Pacific Islander (AAPI) month in Pacific Grove and May 15th is the Walk of Remembrance. Saturday, April 30th is the kickoff where the Pacific Grove Museum has borrowed a Chinese exhibit called Remembering 1882 which was the year of the Chinese Exclusion Act.
- Mayor Delgado – Announced Earth Day this Saturday, April 23, 2022, at 190 Seaside Circle (Marina Library) from 9:00am-11:30am, lots of things to do to benefit the earth and the kids. Thanked all the sponsors for their donations for this event. Commented on the Marina Equestrian Center activities last weekend. Thanked all the volunteers who show up every Saturday to help plant a lot of plants to get ready for our future Hilltop Park so that native plants local to Marina are commercially available to the developers.

7. CONSENT AGENDA FOR THE SUCCESSOR AGENCY TO THE FORMER MARINA REDEVELOPMENT AGENCY: *Background information has been provided to the Successor Agency of the former Redevelopment Agency on all matters listed under the Consent Agenda, and these items are considered to be routine. All items under the Consent Agenda are normally approved by one motion. Prior to such a motion being made, any member of the public or the City Council may ask a question or make a comment about an agenda item and staff will provide a response. If discussion or a lengthy explanation is required, that item will be removed from the Consent Agenda for Successor Agency to the former Marina Redevelopment Agency and placed at the end of Other Action Items Successor Agency to the former Marina Redevelopment Agency.*

8. CONSENT AGENDA: *Background information has been provided to the City Council, Airport Commission, Marina Abrams B Non-Profit Corporation, and Redevelopment Agency on all matters listed under the Consent Agenda, and these items are considered to be routine. All items under the Consent Agenda are normally approved by one motion. Prior to such a motion being made, any member of the public or the City Council may ask a question or make a comment about an agenda item and staff will provide a response. If discussion or a lengthy explanation is required, that item will be removed from the Consent Agenda and placed at the end of Other Action Items.*

a. ACCOUNTS PAYABLE:

- (1) Accounts Payable Check Numbers 99666-99771, totaling \$612,976.50

b. MINUTES:

- (1) April 5, 2022, Regular City Council Meeting

c. CLAIMS AGAINST THE CITY:

- (1) City Council Rejection of Claim - staff recommends that the City Council reject the following claim and direct sending appropriate notice of rejection to claimant: Jeremiah Smith for a claim received on March 21, 2022

d. AWARD OF BID:

e. CALL FOR BIDS: None

f. ADOPTION OF RESOLUTIONS:

- (1) City Council consider adopting Resolution No. 2022-48, regarding the Ralph M. Brown Act (California Government Code §§54950-54963, making certain findings; and authorizing the city to continue to implement remote teleconferenced public meetings of the City Council and its constituent bodies for the period May 1, 2022, through May31, 202.
- (2) City Council consider adopting Resolution No. 2022-, authorizing the release of a Request for Proposals (RFP) to qualified firms for odor attribution study. ***Pulled by Council Member Mayor Delgado***

g. APPROVAL OF AGREEMENTS:

- (1) City Council consider adopting Resolution No. 2022-, approving a Lease Agreement between the City of Marina and Joby Aero, Inc. for 210 8th Street and Authorizing City Manager to execute the Lease Agreement, on behalf of the City, subject to final review and approval by City Attorney. ***Pulled by Council Member Berkely***
- (2) City Council consider adopting Resolution No. 2022-, approving the updated agreement, work plan and budget for Access Monterey Peninsula (AMP) for public, education and government (PEG) broadcasting services for FY 2022-23; and, authorizing the City Manager to execute the agreement on behalf of the City; and, authorizing the Finance Director to make the necessary budgetary and accounting entries and appropriate payments to Access Monterey Peninsula. ***Puled by Council Member Burnett***

h. ACCEPTANCE OF PUBLIC IMPROVEMENTS: None

i. MAPS: None

j. REPORTS: (RECEIVE AND FILE):

k. FUNDING & BUDGET MATTERS: None

l. APPROVE ORDINANCES (WAIVE SECOND READING):

- (1) City Council consider adopting **Ordinance No. 2022-02**, approving text amendment amending Title 9 of the Marina Municipal Code adding Section 9.26 “Military Equipment”.

m. APPROVE APPOINTMENTS: None

DELGADO/BERKLEY: TO APPROVE THE CONSENT AGENDA MINUS 8f(2), 8g(1) AND 8g(2). 4-0-0-0 Motion Passes by Roll Call Vote.

8f(2)

Questions: Is there already an RFP produced that this talks about putting out? How many hours approximately, will staff have to put into this? Will the city be paid for any of the admin costs? Will the RFP come back before Council and the public when it's ready before it goes out on the streets?

DELGADO/BIALA: TO ADOPT RESOLUTION NO. 2022-49, AUTHORIZING THE RELEASE OF A REQUEST FOR PROPOSALS (RFP) TO QUALIFIED FIRMS FOR ODOR ATTRIBUTION STUDY; AND THAT STAFF SPEAK TO THESE CONCERN CITIZENS GROUP PRIOR TO THE RELEASE OF THE RFP. 4-0-0-0 Motion Passes by Roll Call Vote

Public Comments:

- Tommy Bolea – Commented on the smells coming from the dump that cover all of Marina and that surrounding cities bring their garbage here in Marina. Good that the study is being done, it's needed. Commented on landfill constantly burning methane. Glad it's on the agenda tonight.
- Brian McCarthy – A member of a citizen odor group that was formed several years ago to kind of study and try to address some of these issues and believe our community odor group are very important stakeholders that should be involved in the RFP process. We stand by ready to provide input. Interested in kind of setting expectations of what this study might or might not find, and kind of discussing what some of the after actions might be depending on what the outcome is. Will the city aggressively pursue mitigations? Hopes that this study might mention some best management practices that may not be followed at the facility out there.

8g(1)

Questions: Is Joby paying to put a new roof on the entire building or just the portions they will be occupying? Is it in the lease that Joby will take responsibility for repairing the West Bay and West Lean-to?

BERKLEY/BIALA: TO ADOPT RESOLUTION NO. 2022-50, APPROVING A LEASE AGREEMENT BETWEEN THE CITY OF MARINA AND JOBY AERO, INC. FOR 210 8TH STREET AND AUTHORIZING CITY MANAGER TO EXECUTE THE LEASE AGREEMENT, ON BEHALF OF THE CITY, SUBJECT TO FINAL REVIEW AND APPROVAL BY CITY ATTORNEY. 4-0-0-0 Motion Passes by Roll Call Vote

Public Comments: None received

8g(2)

Questions: This is to approve the communication services that AMP provides has nothing to do with the actual physical location and the equipment upgrades etc., correct? During the past year or so there have been outages and I guess there's been an instance where personnel hasn't arrived on time to begin council meetings. Has all of this been discussed with AMP? Was there any consideration of sending this out for bid to see if there are any other folks who could possibly provide services? When we get back into chambers we're using hopefully a hybrid as we've been talking about you, what role is AMP going to play and are we strategizing in the budget for this some kind of improved equipment for us? We are committing to providing a 180 hours of government programming, and I think that means our city council meetings and a 100 hours of public access programming, what the difference? Is 180 hours enough to cover all our Council meetings? Is there a financial consideration if we bump up the hours? What is the PEG Program and how is it used? Has AMP evaluated and made recommendations for replacement of the equipment in the Chambers, per Exhibit A? Archives of our meetings, how do we

find/locate our past meeting, website link does not work? Is archiving our meetings part of their contract? Are they obligated to archive our meetings? How many years can they archive for us?

DELGADO/BIALA: TO ADOPT RESOLUTION NO, 2022-51, APPROVING THE UPDATED AGREEMENT, WORK PLAN AND BUDGET FOR ACCESS MONTEREY PENINSULA (AMP) FOR PUBLIC, EDUCATION AND GOVERNMENT (PEG) BROADCASTING SERVICES FOR FY 2022-23; AND, AUTHORIZING THE CITY MANAGER TO EXECUTE THE AGREEMENT ON BEHALF OF THE CITY; AND, AUTHORIZING THE FINANCE DIRECTOR TO MAKE THE NECESSARY BUDGETARY AND ACCOUNTING ENTRIES AND APPROPRIATE PAYMENTS TO ACCESS MONTEREY PENINSULA; AND THAT THERE'S DISCUSSION ON HOW WE'RE GOING TO RETAIN RECORDS IN PERPETUITY OR AS LONG AS POSSIBLE; AND EASE OF ACCESS TO ARCHIVE VIDEOS. 4-0-0-0 Motion Passes by Roll Call Vote

Public Comments:

- Denise Turley – Commented on AMP not having a website for Marina anymore and the phone number has disappeared. Likes on city website don't work. Noted that if you're not on Comcast you don't get Marina's AMP Channel 25. Suddenlink does not have an agreement with the City and most of Fort Ord in on Suddenlink. Is there any proposal that requires Suddenlink to pick up AMP and offer an AMP channel? Commented on AMP staff in the Chambers audio room not having audio during one of the meetings.
- Paula Pelot – Commented on not having stable internet out in the Abrams and Preston Parks areas and as new fiber optic was put in as Sea Haven was developed. just like many other infrastructure improvements, we get bypassed every time, this needs to be addressed. Noted that AMP can always make a video tape of past meetings, AMP offloaded much of that material to a separate server at some point you so, you might want to reference that when you speak with them.
- Tommy Bolea – City needs a standard format for viewing meetings. Commented that Marina website is convoluted and has not flow to it.

9. PUBLIC HEARINGS: None

10. OTHER ACTIONS ITEMS OF THE SUCCESSOR AGENCY TO THE FORMER MARINA REDEVELOPMENT AGENCY: *Action listed for each Agenda item is that which is requested by staff. The Successor Agency may, at its discretion, take action on any items. The public is invited to approach the podium to provide up to four (4) minutes of public comment.*

11. OTHER ACTION ITEMS: *Action listed for each Agenda item is that which is requested by staff. The City Council may, at its discretion, take action on any items. The public is invited to approach the podium to provide up to four (4) minutes of public comment.*

Note: No additional major projects or programs should be undertaken without review of the impacts on existing priorities (Resolution No. 2006-79 – April 4, 2006).

- a. City Council continued discussion from the January 25, 2022 City Council Meeting regarding unmet city facilities, infrastructure, public safety and staffing needs and funding options to address these needs and provide direction as appropriate.

Council Questions: How much of our tax dollars stay local? What percentage is staying in Marina? How often are assessments done for properties? With a housing boom, shouldn't we see more money coming to Marina? If not, why? What happened to the remodeling/revitalizing the Airport fire station? So the airport location, the staging of that we would be, would still put us outside of the

response time minimum required? As to your general discussion about a utility tax and a potential general obligation bond, I understand that the general bond would be a municipal bond city bond so all of its proceeds would be at the discretion of the city from this particular pot, right? As with the utility tax. they would be. It would be taxed on the property owners here in the city, and its proceeds would be available for projects here in the city, correct? 70% of Marina is renters, who pays the UUT in an apartment complex? Is there any way to guarantee for those folks who live in a unit that they don't receive a separate utility bill but it's combined into their rent that the property owners would not be permitted to raise to raise the rents? For the GO Bond, how can we protect the renters from being gouged or taken advantage of if it passes? Where did these dollar figures come from on slide 14? If we were to do a utility tax or the bond measure either way, they would have to go on the ballot So we would need to have this submitted by August? With the UUT in what way would we be able to protect those who could not afford the tax? Staffing Needs, would the Code Enforcement Officer be focused only on organics? If a bond \$50 million measure passed, could we then have public discussion about whether to spend it on those top 3 priorities, as you presented them tonight or somewhere else? If a bond measure were to pass, when are we committed to how is' going to be spent? If construction costs for the 3 facilities were more that the \$50 million brought in how would we afford the facilities? If we took something of the other list and replace it with an aquatic center wouldn't that bring something different to the city that some people would like? Let's say that we put something on the ballot tha's estimated to bring in \$50 million, would it make sense to send information out to the public, not to advocate, but to inform, to say, here is the long list and the prices In order of what we think the city needs the most – could we inform the public about these two slides? If under the \$35,000 for the police station and the councilmember, chambers, and City Hall, if that were to be split up, can you tell me approximately, you know, with the Chambers and City Hall how much would that cost versus a police station or are you you're really anticipating this one building that has to have the police station and the city Hall and everything together? If either one of the motions passes tonight, what are our next steps? How do we afford all those staff positions without a new reoccurring revenue of approximately \$1.6 million?

MEDINA DIRKSEN/BIALA: WE PURSUE A BOND MEASURE NOT TO EXCEED FIFTY MILLION (\$50,000,000) FOR THE NOVEMBER 2022 ELECTION AND STAFF TO COME BACK WITH A DETAILED FUNDING LIST, TIMETABLES WITH PUBLIC RELATIONS OUTREACH WITHIN 30-DAYS. 3-2(Burnett, Berkley)-0-0 Motion Passes by Roll Call Vote

Substitute Motion

Burnett/Berkley: We would pursue, instruct staff to construct a bond proposal by measure proposal that would include the 3 items listed under city facilities critical only, and bring that back to council as soon as possible. 1-4(Medina Dirksen, Berkley, Biala, Delgado)-0-0 Substitute Motion Fails

Mayor Delgado asked Council Member Medina Dirksen if she would you be willing to make a friendly amendment to your motion to add the UUT at 6%?

Council Member Medina Dirksen, I can do that

Mayor asked Mayor Pro Tem Biala if her Second holds

Mayor ProTem Biala, NO – Does not believe we should have two measures on the ballot.

Public Comments:

- Paula Pelot – Found last few minutes of discussion confusing. Voters are not hot to fund staff positions but when you put money behind facilities, those are those are hard investments and thinks that a much easier sell to the public. People would like to invest in more infrastructure, which is

the fire station, the City Center, Police station, and the ladder, they don't necessarily support staffing. Supports substitute motion.

- Denise Turley – Stated staff should make it clear about what we're selling, and that we don't do any bait and switch, or things deter from. Don't put too much on paper that confuses people or irritates them to the point they don't read further. Explain what we have now and what to expect. Asked if connectivity and conductivity services, are they included in this? Asked if the fire station that's potentially being placed out at or near East Garrison cover Preston and Abrams and some of those other Fort Ord areas?
- Liesbeth Visscher – Agrees that we need to invest in our own city and at a new fire station, police station, council, chambers, City Hall, and ladder truck our necessities. Agrees that other projects with relatively minor costs should also be taken into account because of the use by Marina residents. Would like to see an aquatic center in Marina or creating a new civic center centrally located in Cypress Knolls.
- Brian McCarthy – Commented on how most homeowners in Marina are one payment away from foreclosure and not wealthy, some rent rooms to make ends meet. Commented on the renters in Marina. Appreciates Mayor Pro Tem Biala's comments on the optics of asking for money at this time while having an unusual surplus of money. Having a hard time supporting a bond measure and hoes council is planning for the possibility of the bond not passing. Does not support a UUT.
- Tommy Bolea – Commented on Proposition 19 and how it could affect future property tax income to Marina. Does not agree to spending monies of city facilities and a ladder struck. City should use tax dollars raised for the benefit of Marina residents, not government buildings.

12. COUNCIL & STAFF INFORMATIONAL REPORTS:

- a. Monterey County Mayor's Association [Mayor Bruce Delgado]
- b. Council and staff opportunity to ask a question for clarification or make a brief report on his or her own activities as permitted by Government Code Section 54954.2.

13. ADJOURNMENT: The meeting adjourned at 10:22 P.M.

Anita Sharp, Deputy City Clerk

ATTEST:

Bruce C. Delgado, Mayor

April 29, 2022

Item No. **8j(1)**

Honorable Mayor and Members
of the Marina City Council

City Council Meeting
of May 3, 2022

Honorable Chairperson and Members
of the Successor Agency to Marina Redevelopment Agency

Successor Agency Meeting
of May 3, 2022

Chair and Board Members of
Preston Park Sustainable Community Non-Profit Corporation

Corporation Meeting
of May 3, 2022

CITY COUNCIL OF THE CITY OF MARINA, SUCCESSOR AGENCY TO THE REDEVELOPMENT AGENCY BOARD, AND PRESTON PARK SUSTAINABLE COMMUNITY NPC BOARD TO CONSIDER RECEIVING INVESTMENT REPORTS FOR THE CITY OF MARINA, CITY OF MARINA AS SUCCESSOR AGENCY TO THE MARINA REDEVELOPMENT AGENCY, AND PRESTON PARK SUSTAINABLE COMMUNITY NON-PROFIT CORPORATION FOR THE QUARTER ENDED MARCH 2022

REQUEST:

It is requested that the City Council and Boards:

1. Consider receiving Investment Reports for the City of Marina, City of Marina as Successor Agency to the Marina Redevelopment Agency, and Preston Park Sustainable Community Non-Profit Corporation (PPSC-NPC) for the quarter ended March 31, 2022.

BACKGROUND:

Cash Management. During the last quarter, the City continued to maximize the deposit of idle cash into the Local Agency Investment Fund (LAIF). Additionally, staff explored and executed investments options beyond LAIF that also aligned with the City's investment policy, which includes the purchase of several high-quality notes, commercial paper, and U.S. Treasuries. Changes to the City's investment portfolio for last quarter are shown in Table I, Cash and Investments. The table shows a \$2.9 million increase in total City cash, mostly due to collections of transient occupancy taxes and sales taxes.

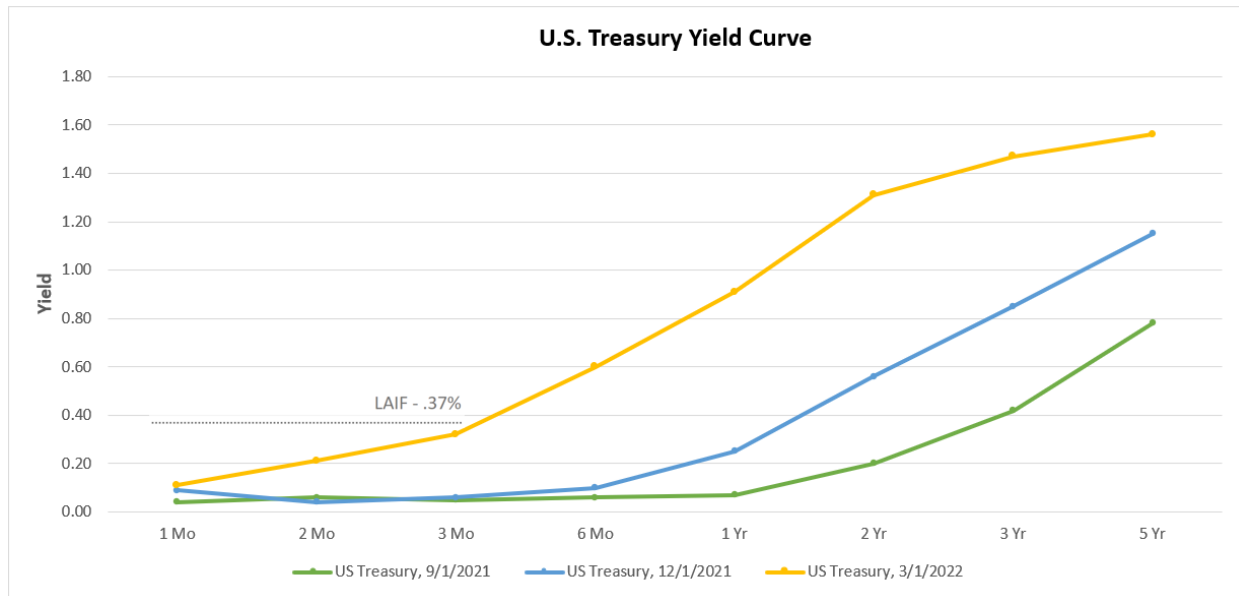
Table I

Summary of Cash and Investments
Amounts in Millions
Quarter Ended March 31, 2022

	December		March		Change (Curr - Prev)	
	Yield	Amount	Yield	Amount	Yield	Amount
City						
LAIF	0.21%	\$ 74.90	0.37%	\$ 69.94	0.16%	\$(4.96)
Corp Notes	0.00%	1.56	0.40%	4.57	0.40%	3.01
Gov Notes	0.00%	2.98	0.59%	5.93	0.59%	2.95
Commercial Paper	0.00%	-	0.95%	4.96	0.95%	4.96
Bank	0.00%	11.50	0.00%	8.26	0.00%	(3.25)
All Others	Variable	0.23	Variable	0.42	Variable	0.19
Subtotal		91.18	Subtotal	94.08	Subtotal	2.90
Successor						
LAIF	0.21%	\$ 4.72	0.37%	\$ 6.23	0.16%	1.50
Bank	0.00%	0.05	0.00%	0.35	0.00%	0.31
All Others	Variable	2.01	Variable	2.01	Variable	0.00
Subtotal		6.78	Subtotal	8.59	Subtotal	1.81
PPSC-NPC						
Bank	0.20%	7.45	0.20%	7.45	0.00%	-
Subtotal		7.45	Subtotal	7.45	Subtotal	-
Total Cash Assets		105.41		110.12		4.71

The end of quarter LAIF interest rate was .37%, which represents a .16% increase from the previous quarter, as seen in Table I. Chart I, Treasury Yield Curve shows the treasury yield curve and its recent shift from September 2021 to March 2022. As this upward shift continues, staff will continue to explore other investment options, including treasury notes and additional high quality corporate products, to maximize the return of idle cash while still retaining liquidity and quality in its portfolio. Nearly half of the city's interest revenue is allocated to the General Fund while Fund 215 – Public Facilities Impact Fees, Fund 223 – FORA Dissolution Fund and Fund 422 – Measure X Capital Projects receive most of the remaining interest revenue. The city operates under an investment policy which can be found at: <http://www.cityofmarina.org/26/Finance>.

Chart I, Treasury Yield Curve



Interest Rate / Economy. Interest rates increased from the prior quarter and that trend is expected to continue well into 2022. The expectation is that interest rates will rise as the Fed seeks to guard against inflation. Staff will closely monitor the yield curve and purchase longer term (maturities beyond one year) investments as those opportunities arise.

Economically, the city is in a strong position with property tax revenues remaining high and transient occupancy and sales tax revenues recovering from the pandemic. Staff will closely monitor those revenues as we approach the end of the fiscal year.

Portfolio Strategy. Staff's goal is to match or outperform LAIF. As shown in Chart I, current treasury yields are such that a 6-month treasury note would accomplish that goal. Staff is exploring treasury non-treasury investments that mature in the 6-month to 2-year range that provide an equal or greater return than LAIF.

Council has previously expressed concerns about investing in fossil fuel companies, or companies that cultivate, process, or sell fossil fuel. Many state and local agencies have sought to promote a low-carbon economy by divesting from fossil fuels. The City of Marina currently has no direct investments in fossil fuel companies. LAIF, which makes up the largest component of the city's portfolio, mostly invests in United States Treasury Notes and Bills as well as other government-backed securities. Other LAIF investments include a modest amount of highly rated certificates of deposit, corporate notes, and commercial paper. These securities are issued by well capitalized domestic and international institutions. While LAIF has no formal investment policy

that restricts fossil fuel investments, the State Treasurer has expressed a strong desire to divest from fossil fuels. Staff will keep abreast of any formal LAIF policy change and will also seek to incorporate fossil fuel divestment into the City of Marina's future investment policy revision, subject to City Council approval.

ANALYSIS:

The attached investment reports include the City of Marina's and the City of Marina as Successor Agency to the Marina Redevelopment Agency's reports ("**EXHIBIT A**"). These include unreconciled balances of City, Successor Agency and Preston Park investments held by financial institutions as reported on their monthly statements.

FISCAL IMPACT:

Investing the City's cash in a safe manner can yield significant interest earnings for the City.

CONCLUSION:

This request is submitted for City Council consideration and possible action.

Lily Suarez

Lily Suarez
Account Technician
City of Marina



Juan Lopez
Finance Director
City of Marina

REVIEWED/CONCUR:

Layne P. Long
City Manager
City of Marina

EXHIBIT A

To: Honorable Mayor and City Council Members

From: Lily Suarez, Accounting Technician

RE: Investment Report
Quarter Ended March 31, 2022

INVESTMENT SUMMARY:

	<u>Market Value</u>
Imprest Cash	\$ 5,900
Checking/Savings Account/Certificate of Deposit	\$ 8,255,524
Local Agency Investment Fund	\$ 69,944,044
JP Morgan Investment Acct	\$ 15,459,020
Paying Agent	\$ 416,374
	<u>\$ 94,080,862</u>

Cash not earning interest	\$ 8,261,424
Non earning cash as a percentage of total cash	9%

I hereby certify that sufficient investment liquidity and anticipated revenues are available to meet the City of Marina's anticipated expenditure requirements for the next six (6) months.
(California Government Code Section 53646)



Juan Lopez, Finance Director



Lily Suarez, Accounting Technician

EXHIBIT A

CITY OF MARINA
INVESTMENT AND EARNINGS REPORT
Quarter Ended March 31, 2022

		Purchase Date	Maturity	Coupon	Rate (%)	Face	Book Value	Market Value	Gain/(Loss)
Petty Cash			N/A	NA	0.00%	5,900.00	5,900.00	5,900.00	-
Chase									
Checking	273582905		Sweep	NA	0.00%	8,255,524.13	8,255,524.13	8,255,524.13	-
Local Agency Investment Fund (LAIF)	98-27-509		NA	NA	0.37%	69,944,043.79	69,944,043.79	69,944,043.79	-
US Bank (Custodian)	244667000		N/A		0.00%	-	-	-	-
US Treasury		2/10/2022	7/28/2022	0.00%	0.38%	3,000,000	2,992,673	2,992,576	(98)
JP Morgan Commercial Paper		2/24/2022	8/24/2022	0.00%	0.83%	2,500,000	2,491,524	2,487,468	(4,055)
PNC Bank A- Bond		12/23/2021	11/1/2022	2.70%	0.40%	1,533,000	1,551,497	1,541,366	(10,132)
JP Morgan Commercial Paper		2/24/2022	11/21/2022	0.00%	1.06%	2,500,000	2,482,783	2,472,551	(10,232)
JP Morgan Chase		1/28/2022	1/25/2023	3.20%	0.75%	3,000,000	3,059,395	3,031,503	(27,892)
Freddie Mac AAA Bond		12/22/2021	8/24/2023	0.25%	0.59%	3,000,000	2,985,608	2,933,557	(52,052)
Total-JP Morgan Investment - 4259						15,533,000	15,563,481	15,459,020	(104,461)
Paying Agent - US Bank									
Marina Abrams B 2006	6711797700-10	Sweep	Sweep	NA	variable	416,371.31	416,371.31	416,371.31	-
Marina Abrams B 2006	6711797711-14	Sweep	Sweep	NA	variable	3.11	3.11	3.11	-
2015 GO Refunding	6712129600-01	Sweep	Sweep	NA	variable	0.00	0.00	0.00	-
Total Trustee Accounts						416,374.42	416,374.42	416,374.42	-
TOTAL						94,154,842.34	94,185,323.30	94,080,862.42	(104,461)

Checking and LAIF accounts for the City of Marina and the Successor Agency are registered and accounted for in the separate names.

The Checking account contains cash for operating, surplus cash is moved to LAIF. LAIF accounts contain idle funds.

EXHIBIT A

To: Marina City Council as Successor Agency to the Former Marina Redevelopment Agency

From: Lily Suarez, Accounting Technician

RE: Investment Report
Quarter Ended March 31, 2022

INVESTMENT SUMMARY:

	<u>Market Value</u>
Checking Account	\$ 351,993
Local Agency Investment Fund	\$ 6,225,005
Paying Agent	\$ 2,014,822
	<u>\$ 8,591,820</u>

Cash not earning interest	\$ 351,993
Non earning cash as a percentage of total cash	4%

I hereby certify that sufficient investment liquidity and anticipated revenues are available to meet the Successor Agency's anticipated expenditure requirements for the next six (6) months.
(California Government Code Section 53646)



Juan Lopez, Finance Director



Lily Suarez, Accounting Technician

EXHIBIT A

CITY OF MARINA AS SUCCESSOR AGENCY TO THE MARINA REDEVELOPMENT AGENCY
INVESTMENT AND EARNINGS REPORT
Quarter Ended March 31, 2022

INSTITUTION

		Purchase				Face	Book Value	Market Value	Gain/(Loss)
		Date	Maturity	Coupon	Rate (%)				
Local Agency Investment Fund (LAIF)	65-27-003	N/A	N/A	NA	0.37%	6,225,004.89	6,225,004.89	6,225,004.89	0.0
Chase									
Checking	273582921	N/A	Sweep	NA	0.00%	351,993.04	351,993.04	351,993.04	0
Paying Agent - US Bank									
2018 Series A&B Bonds	6712220800-817	Sweep	Sweep	NA	variable	1,060,380.50	1,060,380.50	1,060,380.50	0
2020 Series A&B Bonds	6712281500-508	Sweep	Sweep	NA	variable	954,441.88	954,441.88	954,441.88	0
	Total Trustee Accounts					2,014,822.38	2,014,822.38	2,014,822.38	-
TOTAL						8,591,820.31	8,591,820.31	8,591,820.31	0

Checking and LAIF accounts for the City of Marina and the Successor Agency are registered and accounted for in the separate names.
The Checking account contains cash for operating, surplus cash is moved to LAIF. LAIF accounts contain idle funds.

EXHIBIT A

To: Honorable Mayor and City Council Members

From: Lily Suarez, Accounting Technician

RE: Investment Report
Quarter Ended March 31, 2021

INVESTMENT SUMMARY:

Bridge Bank - Capital Reserve Account

<u>Market Value</u>
<u>\$ 7,453,156</u>
<u>\$ 7,453,156</u>

Cash not earning interest	\$	-
Non earning cash as a percentage of total cash		0%



Juan Lopez, Finance Director



Lily Suarez, Accounting Technician

EXHIBIT A

Preston Park Sustainable Community Non-Profit Corporation (PPSC-NPC)
INVESTMENT AND EARNINGS REPORT
Lily Suarez, Accounting Technician

INSTITUTION

		Purchase							
		Date	Maturity	Coupon	Rate (%)	Face	Book Value	Market Value	Gain/(Loss)
Bridge Bank	XXXXXX9858		NA	NA	0.20%	7,453,155.51	7,453,155.51	7,453,155.51	0
TOTAL						7,453,155.51	7,453,155.51	7,453,155.51	0.00

Honorable Mayor and Members
of the Marina City Council

City Council Meeting
of May 3, 2022

**THE CITY COUNCIL CONSIDER ADOPTING RESOLUTION NO. 2022-,
APPROVING THE DUNES ON MONTEREY BAY PHASE 1B TENTATIVE MAP
AMENDMENT, SUBJECT TO FINDINGS AND CONDITIONS OF APPROVAL;
AND FIND THAT THE PROJECT IS EXEMPT FROM CALIFORNIA
ENVIRONMENTAL QUALITY ACT (CEQA).**

RECOMMENDATION: That the City Council consider

1. Adopting Resolution No. 2022-, approving the Dunes on Monterey Bay Phase 1B Tentative Map Amendment, subject to Findings and Conditions of Approval; and
2. Find that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15183 of the State CEQA Guidelines (Projects Consistent with a Community Plan).

SUMMARY:

At the regular meeting of December 17, 2019, the City Council adopted Resolution No. 2019-140 approving an Operating Agreement for the Dunes on Monterey Bay, including but not limited to, the Specific Plan, Development Agreement, the Schedule of Performance, and the 2019 project pro formas. As part of the approved Schedule of Performance, MCP is responsible for the construction of approximately 27,285 sq. ft of commercial pads, which the parcels are included in this amended Tentative Map.

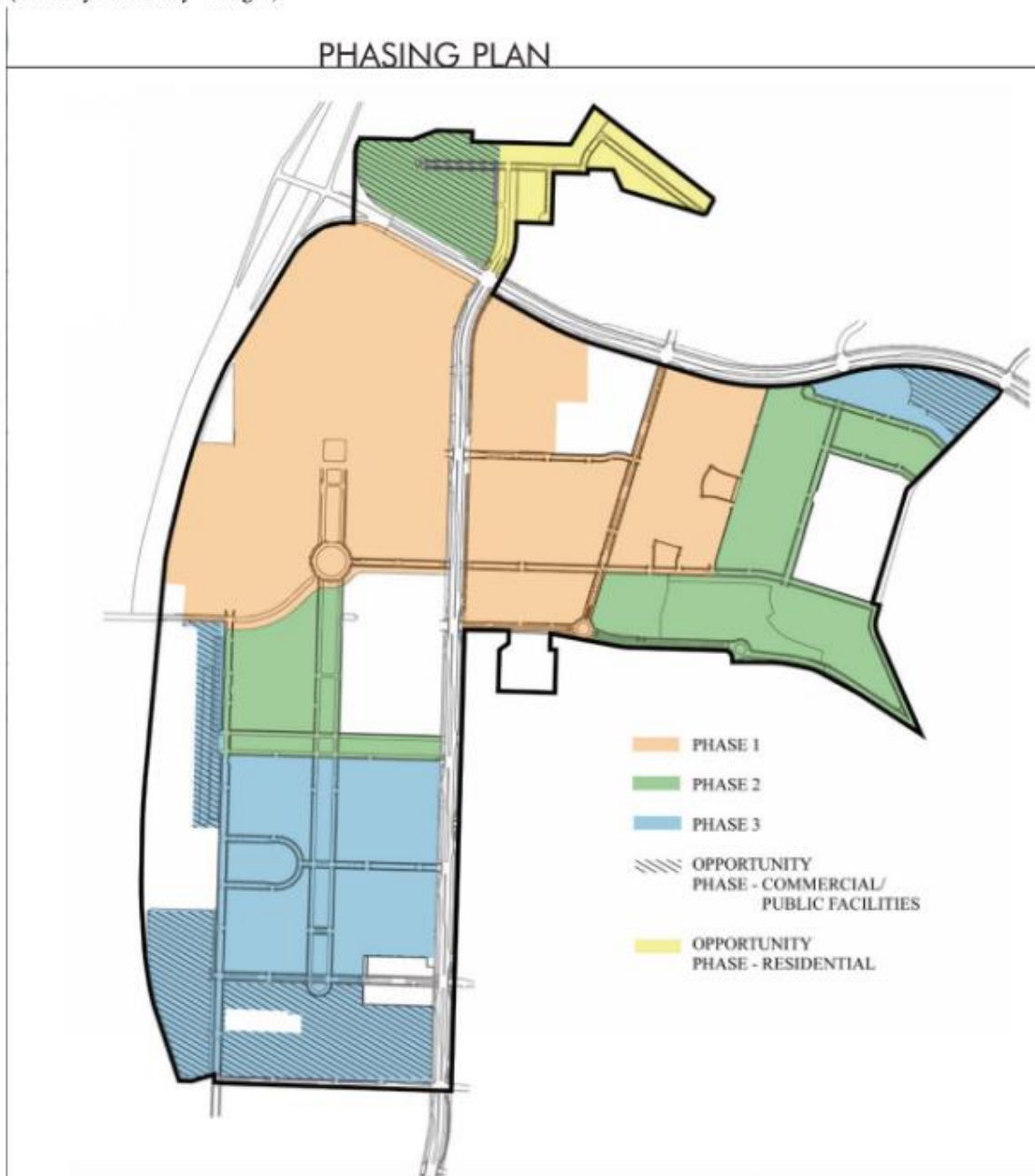
As a large master-planned development project builds out over a period of 10 – 15 years, it is often necessary to make minor modifications to the plans to ensure that utilities and roads are placed in the best possible locations, avoiding current easements and infrastructure conflicts, and accommodating the various tenants as they are selected. Marina Community Partners (MCP) proposes amendments to the previously approved Tentative Map for Phase 2 area of the Dunes on Monterey Bay (formerly University Villages) to meet the current economic and site development portion of the project.

At the regular meeting of April 14, 2022, the Planning Commission adopted a resolution recommending approval of the project to the City Council and finding the project exempt from the California Environmental Quality Act (CEQA) per Section 15183 of the CEQA Guidelines, which states that projects consistent with an applicable Community Plan are exempt from processing under CEQA.

BACKGROUND:

At the regular meeting of May 31, 2005, City Council adopted Resolution No. 2005-127, certifying the Environmental Impact Report for the University Village Development Project, Resolution No. 2005-130, approving the University Village Specific Plan, Resolution No. 2005-131, approving the University Village Tentative Map and Resolution No. 2005-132, approving Sign Program for Regional Retail, Village promenade, Site Plans, Landscaping Plans, Lighting Plans and Building Elevations for Residential Units.

See Phasing Plan from the adopted Specific Plan below for clarification of the phasing for the project:



At the regular meeting of October 2, 2007, the City Council adopted Resolution No. 2007-229, approving Phase 1C Final Map for The Dunes Development Project Subdivision (formerly University Village) and approving Subdivision Improvement Agreement between City of Marina and Marina Community Partners, LLC, (MCP).

At the regular meeting of the Planning Commission on October 9, 2008, the Planning Commission reviewed and recommended that City Council open a public hearing and certify and Addendum to the Environmental Impact Report (EIR SCH No. 2004091167) originally approved by Council on May 31, 2005, approve an amended tentative map (Resolution No. 2008-27), and approve a revised site plan for the Dunes Phase 1B, subject to conditions.

At the regular meeting of October 21, 2008, the City Council adopted Resolution No. 2008-209, certifying an addendum to the Environmental Impact Report EIR SCH No. 2004091167, approving an amended tentative map and conditions of approval, revised site plan for the Dunes Phase 1B and revised Project and Tenant Sign Criteria, subject to conditions.

PROPOSED TENTATIVE MAP AMENDMENTS

Marina Community Partners and Shea Properties have completed the regional retail center consisting of 9 buildings including REI, Target, Michael's, Bed Bath & Beyond, Kohl's, Old Navy and Best Buy, and is completing the leasing of the remaining two spaces in that area, as well as preparing to build the additional economic development portions of the project, including the retail Promenade, an office building, and two hotels.

The previously approved Amended Tentative Map 2008 detailed individual lots in the overall Phase 1 area of the project and large parcels within Phases 2 and 3, but the utility and grading plans depicted individual units for the whole development.

Marina Community Partners (MCP) proposes amendments to the previously approved Tentative Map for Phase 2 area of the Dunes on Monterey Bay (formerly University Villages) to meet the current economic and site development portion of the project. The request changes from the approved amended 2008 Tentative Map are as follows:

1. Remainder Parcel – Individual Lot Lines and Right of Way for the Linear Park Street have been incorporated into the overall site plan
2. Remainder Parcel – Parcels have been added to create individual lot for residential buildings
3. Property Lines – The property lines shown in the amended Tentative Map have been refined to adjust to the current design site plan for the commercial, retail, live-work and residential units
4. Parcels – Parcels have been adjusted and added for private streets, open space area to assist with the amended Commercial Association, which will be annexed into the existing CAM.
5. Grading – The project grading concept has not substantially changed. The current grading has been refined to fit the current layout of the new site plan
6. Street Sections – Street sections have been adjusted to reflect existing road conditions built on the site. All sections are consistent with the Specific Plan.
7. Right of Way entry to the town square from the south is realigned and narrowed to promote a more friendly pedestrian access between all the retail centers for the project.

The project does not propose amendments to the adopted Specific Plan or Marina's General Plan. The amendments proposed impact the Tentative Map only.

FINDINGS

It is recommended that the City Council make the following specific Findings that determine that the proposed Tentative Map Amendments are consistent with the adopted 2005 Tentative Map, the amended 2008 Tentative Map, the University Villages Specific Plan, and the Environmental Impact Report (EIR) certified for the project:

1. This amended map proposes no changes to the adopted Specific Plan for the project and is consistent with the City of Marina General Plan and adopted University Villages Specific Plan in that this proposal to the project lay-out would provide a more efficient use of lands designated for both retails, commercial and residential mixed-uses.

2. The design or improvement of the proposed subdivision is consistent with the City of Marina General Plan and University Villages Specific Plan in that the proposed amended tentative map will implement the Specific Plan which allows for the creation of a unique fully integrated community of diverse housing types, retail, commercial, office uses, infrastructure, and recreational facilities.
3. The site remains physically suitable for development in that the proposed grading plan will allow for the general retention of the natural topography of the site, with limited need for retaining walls.
4. The site remains physically suitable for the proposed density of development in that the proposal is consistent with the General Plan commercial floor area ratio (FAR) and residential densities.
5. The design of the subdivision or the proposed amended improvements are not likely to cause substantial environmental damage nor substantially injure fish or wildlife or their habitat in that a biology report was prepared as part of the Environmental Impact Report in accordance with the California Environmental Quality Act and appropriate mitigations will be imposed.
6. The design of the amended subdivision or type of improvements are not likely to cause serious public health problems in that an Environmental Impact Report was prepared in accordance with the California Environmental Quality Act and findings were made that public health problems will be a less than significant impact with the implementation of appropriate mitigation measures.
7. The proposed amended tentative map does not contemplate or propose substantial changes in the prior project modifications, which will or would require major revisions of EIR No. 2004091167, due to the involvement of new significant environmental effects or a substantial increase in the severity of significant effects previously identified in the EIR above. Rather, the proposed modification concerns a change in, and construction related to, the approved uses within a specific area of The Dunes on Monterey Bay, which specific area is approved for retail, commercial and residential mixed use.

FISCAL IMPACT:

No fiscal impact to the City of Marina as the applicant (MCP) is paying for all third party reviews for the permits related to the Dunes Development.

COMMUNITY INPUT

On April 14, 2022, the Planning Commission conducted a public hearing on the proposed tentative map amendments. A few comments were received, but they were mainly regarding topics and issues outside of the scope of the tentative map amendments. At the conclusion of the public hearing the Planning Commission recommended approval of the map to the City Council.

ENVIRONMENTAL REVIEW:

The proposed tentative map amendments are considered a project under the California Environmental Quality Act (CEQA). The City of Marina Planning Division determined the project is consistent with the Environmental Impact Report (SCH No.2004091167) certified for the University Villages Specific Plan and no substantial changes in the Project from that analyzed in the 2005 EIR and no new significant environmental effects or increase in the severity of the previously identified significant effects. No new information of substantial importance has been identified.

Therefore, the prior adopted EIR is sufficient to support the proposed action. Additionally, pursuant to Section 15183 of the State CEQA Guidelines, projects deemed consistent with an applicable Community Plan are exempt from further review under CEQA. Therefore, Staff recommends that the City Council find that the project is consistent with the University Villages Specific Plan (UVSP) and the EIR (SCH No. 2004091167) certified for the UVSP, and thus requires no further review under CEQA, pursuant to Section 15183 of the CEQA Guidelines.

CONCLUSION:

Staff recommends that the City Council:

1. Find the Project exempt from the California Environmental Act (CEQA) pursuant to State CEQA Guidelines Section 15183; and
2. Adopt a Resolution approving the Phase 1B Tentative Map Amendment, subject to finds and conditions of approval.

Respectfully submitted,

Guido F. Persicone, AICP
Community Development Director
City of Marina

REVIEWED/CONCUR:

Layne Long
City Manager
City of Marina

RESOLUTION NO. 2022-

THE CITY COUNCIL OF THE CITY OF MARINA HEREBY APPROVES THE TENTATIVE MAP AMENDMENT TO THE DUNES ON MONTEREY BAY (FORMELY UNIVERSITY VILLAGES) PHASE 1B-PROMENADE TENTATIVE MAP (EIR SCH NO. 2004091167).

WHEREAS, at the regular meeting of May 31, 2005, City Council adopted Resolution No. 2005-127, certifying the Environmental Impact Report for the University Village Development Project, Resolution No. 2005-130, approving the University Village Specific Plan, Resolution No. 2005-131, approving the University Village Tentative Map and Resolution No. 2005-132, approving Sign Program for Regional Retail, Village promenade, Site Plans, Landscaping Plans, Lighting Plans and Building Elevations for Residential Units; and,

WHEREAS, at the regular meeting of October 2, 2007, the City Council adopted Resolution No. 2007-229, approving Phase 1C Final Map for The Dunes Development Project Subdivision (formerly University Village) and approving Subdivision Improvement Agreement between City of Marina and Marina Community Partners, LLC, (MCP); and,

WHEREAS, at the regular meeting of the Planning Commission on October 9, 2008, the Planning Commission reviewed and recommended that City Council open a public hearing and certify and Addendum to the Environmental Impact Report (EIR SCH No. 2004091167) originally approved by Council on May 31, 2005, approve an amended tentative map (Resolution No. 2008-27), and approve a revised site plan for the Dunes Phase 1B, subject to conditions; and,

WHEREAS, at the regular meeting of October 21, 2008, the City Council adopted Resolution No. 2008-209, certifying an addendum to the Environmental Impact Report EIR SCH No. 2004091167, approving an amended tentative map and conditions of approval, revised site plan for the Dunes Phase 1B and revised Project and Tenant Sign Criteria, subject to conditions; and,

WHEREAS, at the regular meeting of December 17, 2019, the City Council adopted Resolution No. 2019-140 approving an Operating Agreement for the Dunes on Monterey Bay, including but not limited to, the Specific Plan, Development Agreement, the Schedule of Performance, and the 2019 project pro formas; and,

WHEREAS, as part of the approved Schedule of Performance, MCP is responsible for the construction of approximately 27,285 sq. ft of commercial pads, which the parcels are included in this amended Tentative Map; and,

WHEREAS, Marina Community Partners (MCP) proposes amendments to the previously approved Tentative Map for Phase 1B area of the Dunes on Monterey Bay (formerly University Villages). The request changes from the approved amended 2008 Tentative Map are as follows:

1. Remainder Parcel – Individual Lot Lines and Right of Way for the Linear Park Street have been incorporated into the overall site plan.
2. Remainder Parcel – Parcels have been added to create individual lot for residential buildings.
3. Property Lines – The property lines shown in the amended Tentative Map have been refined to adjust to the current design site plan for the commercial, retail, live-work and residential units.

4. Parcels – Parcels have been adjusted and added for private streets, open space area to assist with the amended Commercial Association, which will be annexed into the existing CAM.
5. Grading – The project grading concept has not substantially changed. The current grading has been refined to fit the current layout of the new site plan.
6. Street Sections – Street sections have been adjusted to reflect existing road conditions built on the site. All sections are consistent with the Specific Plan.
7. Right of Way entry to the town square from the south is realigned and narrowed to promote a more friendly pedestrian access between all the retail centers for the project.

WHEREAS, the City of Marina Planning Division determined the project is consistent with the Environmental Impact Report (SCH No.2004091167) certified for the University Villages Specific Plan and no new environmental impacts will occur and the City Council will take action on the final CEQA determination; and,

WHEREAS, at a public hearing, upon hearing and considering all testimony and arguments, if any, of all interested persons desiring to be heard, said Planning Commission did affirm the findings regarding the referenced case, and further, did recommend that the City Council approve the Amended Tentative Map, subject to conditions; and,

WHEREAS, at a public hearing, upon hearing and considering all testimony and arguments, if any, of all interested persons desiring to be heard, the City Council did affirm the findings regarding the referenced case, and further, did find the following facts to justify approval of the Amended Tentative Map, subject to conditions, as follows:

1. The proposed amended map proposes no changes to the adopted Specific Plan for the project and is consistent with the City of Marina General Plan and University Villages Specific Plan in that this proposal consolidates land uses so as to avoid urban sprawl by making efficient use of lands designated for residential uses.
2. The design or improvement of the proposed subdivision is consistent with the City of Marina General Plan and University Villages Specific Plan in that the proposed amended tentative map will implement the Specific Plan which allows for the creation of a unique fully integrated community of diverse housing types, infrastructure and recreational facilities.
3. The site remains physically suitable for development in that the proposed grading plan will allow for the general retention of the natural topography of the site, with limited need for retaining walls.
4. The site remains physically suitable for the proposed density of development in that the proposal is consistent with the General Plan commercial floor area ratio (FAR) and residential densities.
5. The design of the subdivision or the proposed amended improvements are not likely to cause substantial environmental damage nor substantially injure fish or wildlife or their habitat in that a biology report was prepared as part of the Environmental Impact Report in accordance with the California Environmental Quality Act and appropriate mitigations will be imposed.

6. The design of the amended subdivision or type of improvements are not likely to cause serious public health problems in that an Environmental Impact Report was prepared in accordance with the California Environmental Quality Report and findings were made that public health problems will be a less than significant impact with the implementation of appropriate mitigation measures.
7. The proposed amended tentative map does not contemplate or propose substantial changes in the prior project modifications, which will or would require major revisions of EIR No. 2004091167, due to the involvement of new significant environmental effects or a substantial increase in the severity of significant effects previously identified in the EIR above. Rather, the proposed modification concerns a change in, and construction related to, the approved uses within a specific area of The Dunes on Monterey Bay, which specific area is approved for retails, commercial and residential mixed use.

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of Marina that does hereby:

1. Find the Project exempt from the California Environmental Act (CEQA) pursuant to State CEQA Guidelines Section 15183; and,
2. Approving the Phase 1B Tentative Map Amendment, subject to finds and conditions of approval.

PASSED AND ADOPTED by the City Council of the City of Marina at a regular meeting duly held on the 3rd day of May 2022, by the following vote:

AYES, COUNCIL MEMBERS:

NOES, COUNCIL MEMBERS:

ABSENT, COUNCIL MEMBERS:

ABSTAIN, COUNCIL MEMBERS:

Bruce C. Delgado, Mayor

ATTEST:

Anita Sharp, Deputy City Clerk

**DUNES ON MONTEREY BAY (UNIVERSITY
VILLAGES) AMENDED TENTATIVE
SUBDIVISION MAP
CONDITIONS OF APPROVAL**

DOCUMENTS

- AMENDED TENTATIVE MAP for UNIVERSITY VILLAGES, MARINA, CALIFORNIA, dated September 24, 2008 consisting of 27 sheets.
- VOLUMES I & II, UNIVERSITY VILLAGES SPECIFIC PLAN, DRAFT ENVIRONMENTAL IMPACT REPORT dated February 14, 2005. Final EIR and Mitigation Monitoring Report approved by City Council Resolution No. 2005-127.
- GENERAL PLAN AMENDMENT, REVISING THE MARINA GENERAL PLAN MAP, AND SPECIFIC SECTIONS approved by City Council Resolution No. 2005-128.
- SPECIFIC PLAN, UNIVERSITY VILLAGES IN THE CITY OF MARINA AT FORMER FORT ORD dated May 31, 2005 approved by City Council Resolution No. 2005-130.
- TENTATIVE MAP, UNIVERSITY VILLAGES, dated May 31, 2005 approved by City Council Ordinance No. 2005-131.
- DISPOSITION AND DEVELOPMENT AGREEMENT (DDA), dated May 31, 2005, approved by City Council Resolution No. 2005-135.
- IMPLEMENTATION AGREEMENT, dated September 6, 2006, approved by City Council Resolution No. 2006-36 (MRA).
- FINAL MAP, PHASE IC, dated October 2, 2007 approved by City Council Resolution 2007-229 (NOT EXECUTED)
- SECOND IMPLEMENTATION AGREEMENT, dated August 5, 2008, approved by City Council Resolution No. 2008-172.
- TENTATIVE MAP & CONDITIONS OF APPROVAL AMENDMENT NO. 1, UNIVERSITY VILLAGES, dated October 21, 2008 approved by City Council Resolution No. 2008-209
- TENTATIVE MAP CONDITIONS OF APPROVAL AMENDMENT NO.2, UNIVERSITY VILLAGES (Now The Dunes on Monterey Bay), dated February 3, 2015 approved by City Council Resolution 2015-11
- OPERATING AGREEMENT, dated December 17, 2019 approved by City Council Resolution 2019-140

Note: Added/Amended Conditions of Approval in ***Bold Italics***

CONDITIONS OF APPROVAL

GENERAL

1. The Amended Tentative Map shall not be in force and effect unless and until the above referenced documents have been approved by the City Council and are in effect.
2. All final maps filed pursuant to this approval shall, in the opinion of the City, be in substantial compliance with the referenced Tentative Map on file in the offices of the City of Marina.
3. Prior to approval of the first Final Map, the developer shall execute a subdivision improvement agreement and bond for all public improvements. The subdivision improvement agreement will provide that the City shall not be obligated to accept any easement or right-of-way and shall not accept public infrastructure improvements prior to the establishment of the Community Facilities District ("CFD") required by Condition ***21*** herein.
4. The developer shall pay all required Development Impact Fees in accordance with the Development Agreement.
5. The developer shall provide proof of payment to outside utility providers of all required service and connection fees in accordance with the Development Agreement.

GEOLOGICAL REPORT

6. Prior to approval of any Final Map, Parcel Map or Grading Plan, the developer shall submit a geotechnical report that addresses soil and foundation requirements and considers any prior grading on the site and addresses conditions as they will exist at the time of building and infrastructure construction. Improvement and Grading Plans shall comply with all recommendations, conditions and conclusions contained in the report. The Geotechnical Consultant shall review all fieldwork, including but not limited to, excavation, placing and compacting of fill, trenching and backfill, and paving.

IMPROVEMENT PLANS

7. Prior to recordation of any Final Map or Parcel Map, improvement plans shall be submitted for any and all public and private infrastructure improvements required to be constructed in accordance with the approved Tentative or Tentative Parcel Map for the subdivision. Said improvement plans shall be submitted to and approved by the City Engineer or his/her designee for approval, and shall show all infrastructure necessary to serve that subdivision, including but not limited to grading, streets, storm drainage, sanitary sewer, potable water, reclaimed water, landscaping, street lights, electricity, telephone, cable television, traffic signals, signing and striping, erosion and sedimentation control facilities. Final improvement plans shall be accompanied by electronic files for use in updating City base maps.

8. Parking on all non-residential parcels shall be designated on the Final Map as reciprocal parking easements for all other non-residential parcels within the boundary of the approved Tentative Map. The form of the designation shall be to the satisfaction of the City Engineer and City Attorney.
9. Prior to issuance of any Building Permit, a Parking Demand Management Plan shall be submitted by the developer and approved by the City. The Parking Demand Management Plan shall identify specific parking spaces to be shared, the times of the day and days of the week each parking space will be available for each use to be served, and the proximity and ease of access of shared parking spaces to uses to be served.

PARKS AND RECREATION

10. The Developer shall improve and dedicate to the City the hilltop area between 8th and 9th streets, consistent with the concept set forth in the Specific Plan for the Hilltop Park, ***and the linear park along the future General Stillwell Avenue***, consistent with the concept set forth in the Specific Plan.

AIR QUALITY

11. Prior to the issuance of any Grading or Building Permit, the applicant shall submit for staff review and approval a Construction Dust Control Plan in accordance the approved EIR MMP for dust control.

TRANSPORTATION AND CIRCULATION

12. Prior to approval of the first Final Map, the applicant shall submit a program for the timing scheduling of the street, bike path and lane improvements.
13. Prior to issuance of a Grading Permit, offsite grading and/or encroachment permits shall be obtained from any affected agencies or parties.
14. All public and/or private walkways shall be designed, installed and maintained in compliance with ADA standards.
15. ***All on-site and on-street parking spaces shall be no less than 8'6" in width.***

SEWER

16. Prior to recordation of any Final Map, the applicant shall submit verification from the Monterey Regional Water Pollution Control Agency to the City of Marina that adequate wastewater treatment capacity exists to serve the University Villages project.
17. Prior to recordation of any Final Map, the applicant shall execute as necessary a Construction and Transfer of Water, Recycled Water, and Sewer Agreements with the Marina Coast Water District (MCWD) and the City of Marina Public Works Department.

STORM WATER

18. Prior to approval of Improvement Plans, a Storm Drainage Report and Plan that is consistent with the drainage concepts included in the University Villages Specific Plan shall be submitted for review and approval. The Plan shall include drainage calculations, drainage plans, and landscaping plans for permanent proposed retention basins (if any), and a program for ongoing maintenance of storm drain facilities by a Landscape & Lighting District ("LLD") /*Community Facilities District (CFD)* to be formed by the applicant.
19. Prior to the issuance of a Grading Permit, appropriate best management practices shall be identified and approved by the City Engineer or by his/her designee to minimize the impacts of storm water runoff during construction.

ELECTRIC, CABLE, AND TELEPHONE

20. Unless equipment is required to be above ground, all utilities shall be placed underground as approved by the City Engineer or by his/her designee. Any equipment above ground shall be screened with landscaping as required by the City Engineer or by his/her designee.

LANDSCAPE MAINTENANCE DISTRICT/HOMEOWNERS ASSOCIATIONS

21. The University Villages Specific Plan proposes numerous areas that will be held in common ownership amongst all property owners. The Specific Plan proposes both an LLD and a Homeowners Association to maintain and manage the common areas. As part of any Final Map application, the applicant shall submit HOA By-Laws, and Conditions, Covenants & Restrictions (CC&R's) establishing the HOA and defining its maintenance responsibilities, for review and approval by the City Attorney or his/her designee prior to the approval of the Final Map. The CC&R's shall contain provisions for the management and maintenance by a Homeowners Association of all lanes and internal streets and pedestrian way landscaping. All other common areas, including parks and open space, medians and parkways, storm drains and street lighting, shall be maintained by a Community Facilities District (CFD) in lieu of a Landscape and Lighting District excepting Hilltop Park, Second Avenue, Imjin Parkway, 8th Street and California Avenue and their associated medians and parkways, which will be maintained by the City. Said CFO shall be established prior the City being obligated to accept any easement or right-of-way and prior to the City's acceptance of public infrastructure improvements.

CITY ATTORNEY

22. The applicant shall agree as a condition of approval of this project to defend, at its sole expense, indemnify and hold harmless from any liability the City and reimburse the City for any expenses incurred resulting from, or in connection with, the approval of the project, including any appeal, claim, suit or legal proceeding. The City may, at its sole discretion, participate in the defense of any such action, but such participation shall not relieve the applicant of its obligations under this condition. As a further condition of approval, the applicant shall agree that in the event the City initiates any legal action or suit to enforce any condition of approval contained herein, the prevailing

party shall be entitled to recover from the losing party reasonable expenses including attorney fees, court costs, and administrative costs including but not limited to staff time and consultants' fees. Within 21 days of the Council's action on the subject permits and approvals the applicant shall have prepared and submitted an agreement incorporating the above terms acceptable to the City Attorney.

BUILDING

23. Prior to issuance of a Building Permit, building pads shall be certified by a licensed civil engineer or land surveyor for elevation and by a licensed geotechnical engineer for compaction.

PUBLIC SAFETY

24. Fire lanes shall be provided and designated at strategic locations throughout the development for access to greenbelt and open space areas as required by the Fire Chief and Public Safety Department Director.
25. Prior to issuance of a Building Permit, the applicant shall gain approval from the Fire Chief for the appropriate fire access and fire hydrant(s).
26. Prior to construction, appropriate fire hydrant locations and fire access shall be in place and operational as required by the Fire Chief for the specific building location.
27. Prior to approval of Improvement Plans, the plans shall show one wireless 802.11b streetlight standard mounted transmitter/repeater for every two hundred residences at locations subject to review and approval by the Fire Chief.
28. Design of the Improvement Plan specific to the tree locations shall be coordinated with the landscape architect and engineer.

DEMOLITION

29. Prior to the approval of Demolition Plans, the applicant shall submit approval from the Army Corps of Engineers for a plan to protect in place and/or relocate existing Pump & Treatment system monitoring wells and existing underground water pipelines and structures.

PUBLIC WORKS

30. New street lights shall be required on all streets as part of the public improvements. The final design of streetlights shall be subject to approval of the City Engineer and shall be designed in conformance with the Specific Plan. Additionally, security lights shall be installed at neighborhood parks, open spaces and along trails and bike paths. The applicants shall submit lighting plans including photometric calculations as part of the public improvement plans for review and approval by the City Engineer of his/her designee. New streetlights will be owned, maintained and repaired by the LLD / *CFD*.

31. The applicants shall dedicate land as necessary to construct any public improvements.
32. The Final Map shall show an abandonment of abutter's vehicular access rights on all lots that have two street (or one street and one alley) frontages and where vehicle access from the public street is undesirable since the design is for vehicle access from the alley.
33. Prior to the approval Improvement Plans, utility stubs for the future development shall be reviewed and approved by the City Engineer or by his/her designee.
34. Intersection bulb-out design shown on the tentative map is to be considered a conceptual layout only. Additional information shall be utilized, including but not limited to fire department access as it relates to turning radius and utilization by commercial vehicles while still providing the intended traffic calming effects of a narrow street. Final design of the intersection bulb-outs shall be determined prior to final approval of the Improvement plans. This final design shall be approved by the City of Marina's Fire Department, City Engineer, and the Planning Director.
35. The Geotechnical Engineer of record for this project shall be responsible for the evaluation of conditions. If retaining walls are greater than 6' in height the Geotechnical Engineer of record shall be responsible for the evaluation of all slope gradients on the Rough Grading Plan, and/or the Grading plan to confirm the slopes are appropriately designed.
36. The trail/roadway crossings shall be designed using generally accepted engineering standards and methods to prevent horses from slipping on the asphalt. The crossings shall not use steps and ledges. Appropriate details shall be included on any affected improvement plans.
37. Roadway improvements exist at the roundabout at 9th Street and the proposed "D" and "E" Street intersection. Additional improvements beyond the normal roundabout design that will accommodate the equestrian trail shall be constructed at this location.
38. Reverse Angle Parking shall be designed and constructed along the frontage of the proposed City Park on "J" Street and "E" Street. This construction shall consist of AC paving, Curb and Gutter, Sidewalk, Street Lighting, Sidewalk Landscaping, ADA Parking provisions, markings, and signs. Landscaped Bulb- Outs shall be considered at a spacing approved by the City Engineer.
39. That the FORTAG trail shall be incorporated into the design of California Avenue. Appropriate details shall be included on any affected improvement plans.

SB 221 (GOVT. CODE SECTION 66473.7) COMPLIANCE

40. Prior to approval of the Final Map the applicant shall comply with the requirements of Government Code section 66473.7.

END OF CONDITIONS

PROJECT DESCRIPTION

UNIVERSITY VILLAGES SPECIFIC PLAN IS A 337.8 ACRE RESIDENTIAL AND MIXED-USE PROJECT. THE PROMENADE IS A 16.4 ACRE PORTION OF THE UNIVERSITY VILLAGES PROJECT AND INCLUDES RESIDENTIAL USE, COMMERCIAL USE, STREETS, PARKS, WALKWAYS, AND VILLAGE SQUARE.

SHEET INDEX

- 1 TM01 TITLE SHEET
- 2 TM02 EXISTING CONDITIONS & DEMOLITION PLAN
- 3 TM03 EXISTING CONDITIONS & DEMOLITION PLAN
- 4 TM04 BOUNDARY MAP EXHIBIT
- 5 TM05 LOTS & PARCELS
- 6 TM06 PROPOSED PUBLIC RIGHT OF WAY & EASEMENTS
- 7 TM07 STREET SECTIONS (PROPOSED PUBLIC RIGHT OF WAY)
- 8 TM08 GRADING AND DRAINAGE PLAN
- 9 TM09 GRADING AND DRAINAGE PLAN
- 10 TM10 GRADING SECTIONS
- 11 TM11 UTILITY PLAN
- 12 TM12 UTILITY PLAN

LOT SUMMARY

USE	LOTS	ACREAGE
RESIDENTIAL	LOTS 3-6, 9, 10, 14-16, 21-26, 33-35	4.84
COMMERCIAL	LOTS 2, 8, 11-13, 19, 20	3.34
PUBLIC STREET*	LOTS 7, 28, 30, 32	5.18
PRIVATE STREET/DRIVE AISLE	LOTS 1, 27, 29, 31, 36	2.19
OPEN SPACE	LOTS 18	0.49
TOTAL		16.04

*TO BE DEDICATED TO THE CITY OF MARINA FOR PUBLIC STREET PURPOSES

RESIDENTIAL CONDOMINIUM UNIT SUMMARY

TYPE	LOTS	UNITS
LIVEWORK	LOTS 9, 10, 14, 21	13
FLATS	LOTS 3-6, 15, 16, 22-26	53
TOWNHOMES	LOTS 33, 34, 35	18
TOTAL		84

NOTE: LOT 17 NOT USED

LEGEND

PROPOSED	EXISTING

ABBREVIATIONS

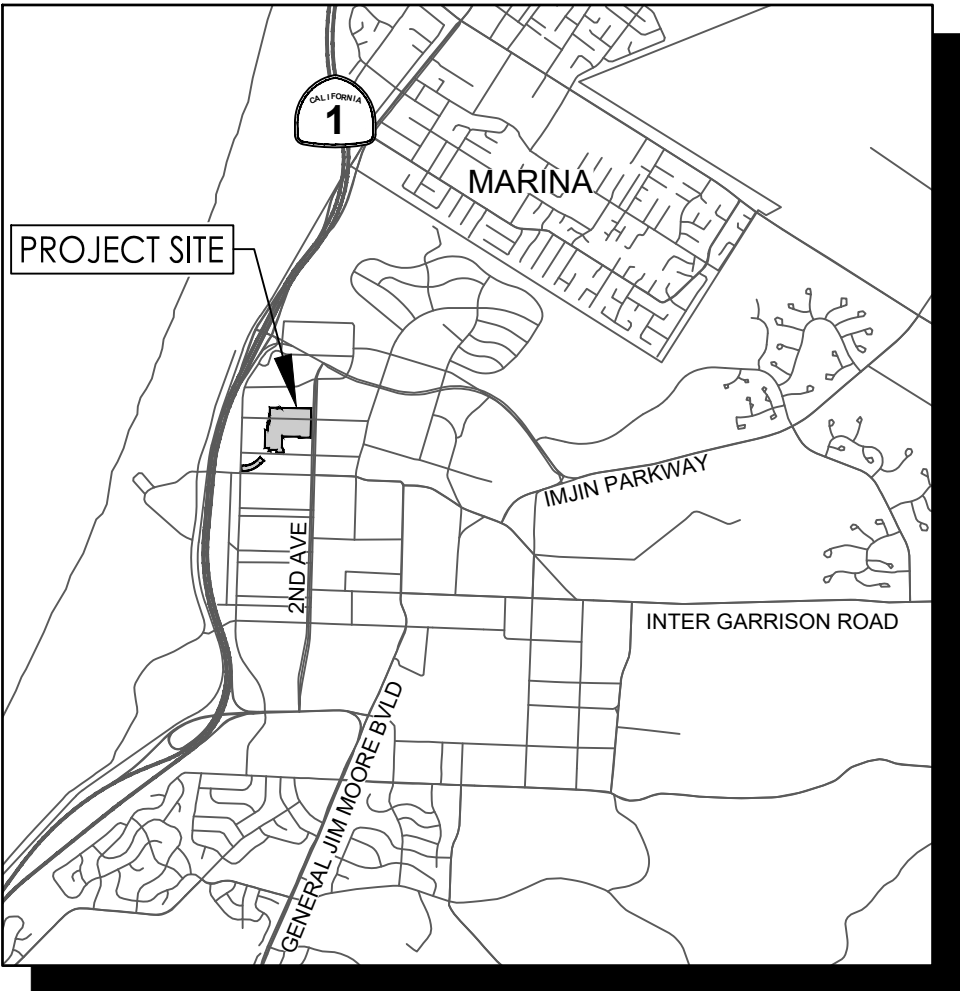
ADA	ACCESSIBLE UNIT
CL	CENTERLINE
ESMT	EASEMENT
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT
FC	FACE OF CURB
FF	FINISHED FLOOR
FH	FIRE HYDRANT
LS	LANDSCAPE
MCWD	MARINA COAST WATER DISTRICT
PUE	PUBLIC UTILITY EASEMENT
RW	RECYCLED WATER
SD	STORM DRAIN
SSE	SANITARY SEWER EASEMENT
SS	SANITARY SEWER
S/W	SIDEWALK
TC	TOP OF CURB
TRC	TOP OF ROLLED CURB
TTC	TOP OF FLUSH CURB
W	WATER

AMENDED TENTATIVE MAP

FOR CONDOMINIUM PURPOSES

UNIVERSITY VILLAGES - PHASE 1B

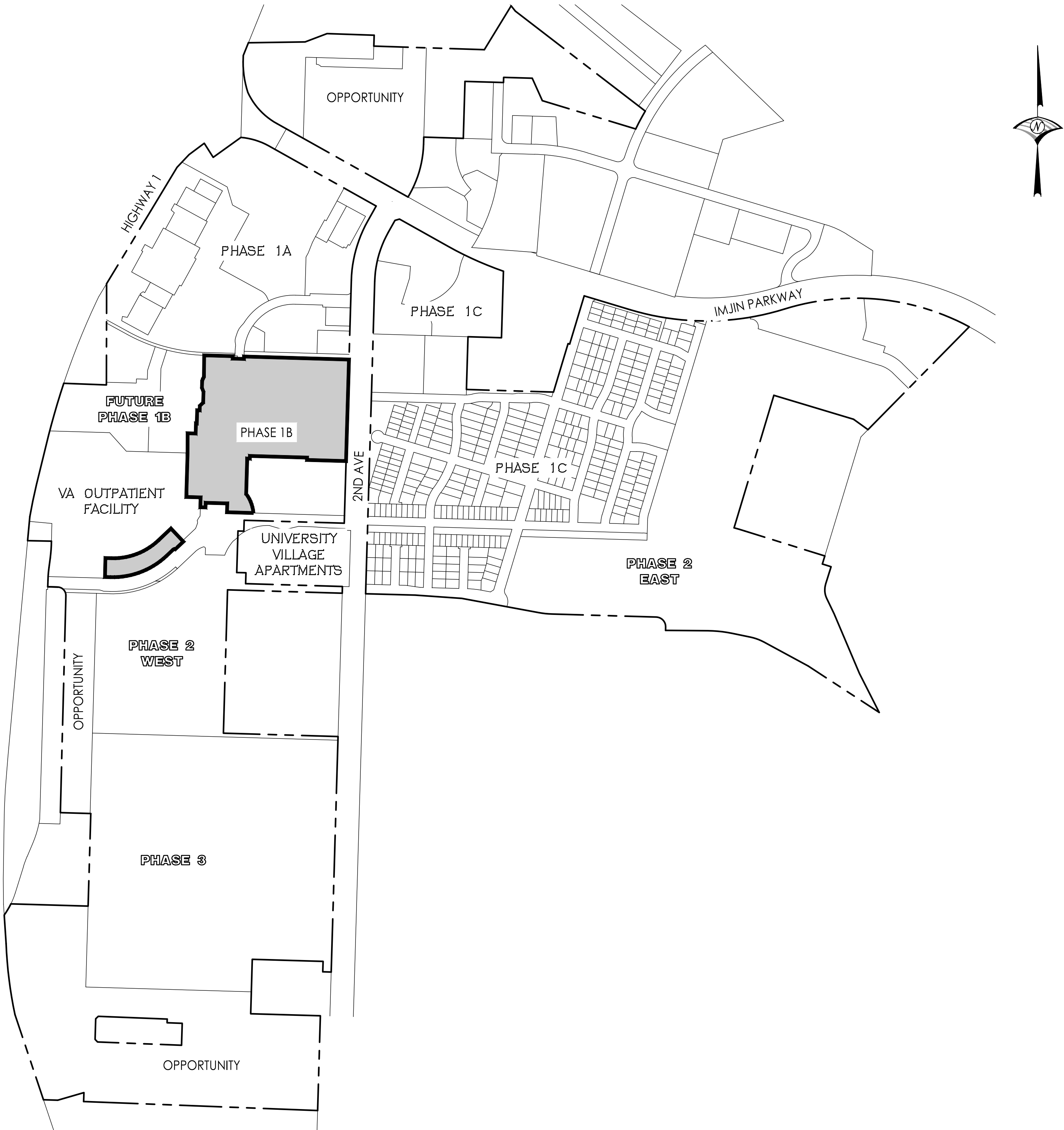
MARINA, CALIFORNIA



VICINITY MAP
NTS

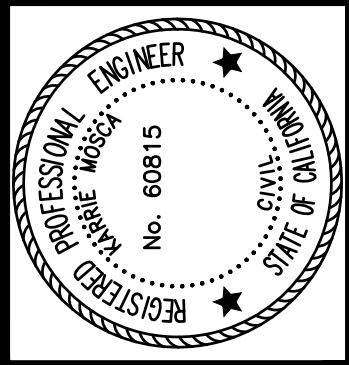
GENERAL NOTES

- OWNER/DEVELOPER/SUBDIVIDER: MARINA COMMUNITY PARTNERS, LLC
- CIVIL ENGINEER: WOOD RODGERS, INC
4670 WILLOW RD, SUITE 125
PLEASANTON, CA 94588
- GEOTECHNICAL ENGINEER: BERLOGAR STEVENS & ASSOCIATES
5587 SUNOL BLVD
PLEASANTON, CA 94509
- UTILITY CONSULTANT: GIACALONE DESIGN SERVICES, INC.
2625 CROW COURT
ANTIOCH, CA 94509
- LANDSCAPE ARCHITECT: C2 COLLABORATIVE
100 AVENIDA MIRAMAR
SAN CLEMENTE, CA 92672
- ASSESSOR'S PARCEL NUMBERS: 031-282-028 THROUGH 43, 031-282-047, LOTS 5-20 & 24, AND THE REMAINDER OF PARCEL 031-282-060
- SITE AREA: 16.4 +/- ACRES
- GENERAL PLAN DESIGNATION: NEIGHBORHOOD DISTRICT - UNIVERSITY VILLAGE
- CURRENT LAND USE: VACANT AND UNIMPROVED, CURRENTLY USED BY TEMPORARY CONSTRUCTION TRAILERS FOR THE DUNES PROJECT
- CURRENT ZONING: MULTIPLE USE UNDER THE UNIVERSITY VILLAGE SPECIFIC PLAN (UVSP)
- PROPOSED LAND USE: COMMERCIAL, RESIDENTIAL, AND PARKS OR PUBLIC OPEN SPACES.
- UTILITIES: MARINA COAST WATER DISTRICT
11 RESERVATION ROAD
MARINA, CA 93933
SPECIAL DISTRICT
PACIFIC GAS & ELECTRIC
401 WORK STREET
SALINAS, CA 93901
AT&T
2160 CALIFORNIA AVE STE B
SAND CITY, CA 93955
COMCAST CABLE
2455 HENDERSON WAY
MONTEREY, CA 93940
MARINA FIRE DEPARTMENT
211 HILLOREST
MARINA, CA 93933
- THE PROPOSED GRADING AS SHOWN IS PRELIMINARY AND IS SUBJECT TO FINAL DESIGN.
- ALL GRADING SHALL BE DONE IN CONFORMANCE WITH THE RECOMMENDATIONS AND CONDITIONS OF THE DESIGN LEVEL GEOTECHNICAL INVESTIGATION REPORT FOR THE BALANCE OF PHASE 1 OF UNIVERSITY VILLAGES, PREPARED BY BERLOGAR STEVENS & ASSOCIATES DATED FEBRUARY 21, 2007 AND SUPPLEMENTAL LETTER DATED OCTOBER 14, 2021.
- UTILITY LOCATIONS, STREET GRADES, AND LOT DIMENSIONS ARE PRELIMINARY AND ARE SUBJECT TO FINAL ENGINEERING DESIGN AND HOUSE PLOTTING.
- FINAL MAPS MAY BE FILED IN MULTIPLE PHASES.
- APPROVAL OF THIS TENTATIVE MAP ALLOWS FOR FURTHER SUBDIVISION INTO CONDOMINIUM UNITS AS PROVIDED IN SECTION 66424 AND 66427 OF THE SUBDIVISION MAP ACT.
- ALL EXISTING EASEMENTS AS SHOWN ON THESE PLANS ARE TO REMAIN UNLESS OTHERWISE NOTED. NEW EASEMENTS SHALL BE DEDICATED TO THE APPROPRIATE AGENCIES. PEDESTRIAN ACCESS AND EMERGENCY ACCESS EASEMENTS WILL BE REQUIRED WITHIN PUBLIC RIGHT-OF-WAYS.
- TOPOGRAPHY SHOWN IS BASED ON AN AERIAL SURVEY BY WHITSON ENGINEERS, FLOWN IN OCTOBER 2019. ELEVATIONS ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) WITH TIES TO NATIONAL GEODETIC SURVEY CONTROL STATIONS GU3210 AND GU2130.
- REIMBURSABLE UTILITY COSTS TO BE ADDRESSED AS PART OF THE UNIVERSITY DEVELOPMENT AGREEMENT.
- FINAL ENGINEERING DESIGN MAY REQUIRE CHANGES TO THE LOCATION OF INFRASTRUCTURE AND DRAINAGE FACILITIES.
- ALL SIZES, AREAS, VOLUMES, LENGTHS AND DISTANCES CONTAINED HEREIN ARE ONLY APPROXIMATE AND ARE NOT INTENDED, NOR SHOULD THEY BE ACCEPTED AS EXACT MEASUREMENTS



SITE PLAN
SCALE: 1"=400'

WOOD RODGERS
REGISTERED PROFESSIONAL ENGINEER
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
4670 WILLOW ROAD, STE 125 TEL 925.847.1556
PLEASANTON, CA 94588 FAX 925.847.1597

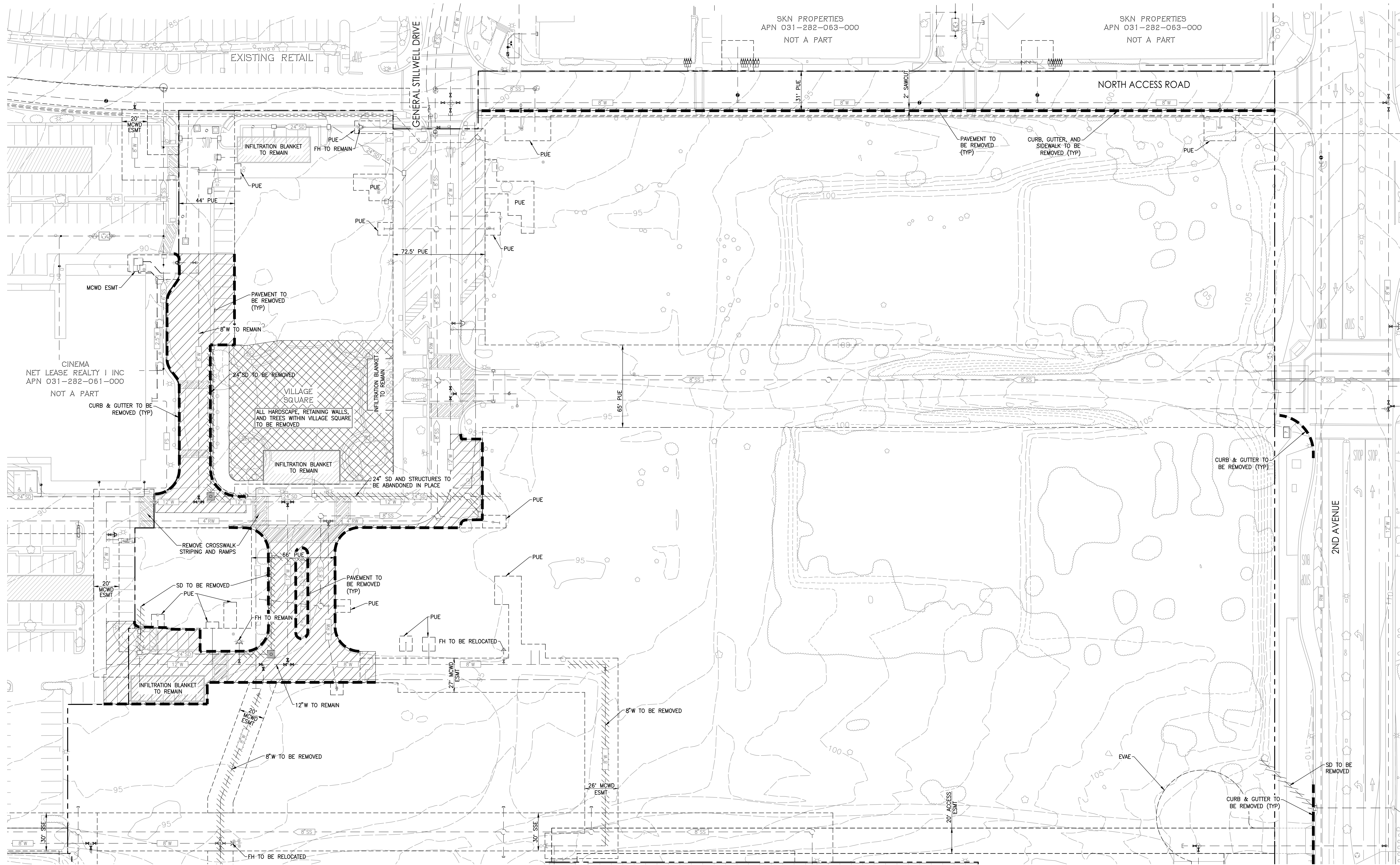


SUBMITTAL / REVISION	CITY SUBMITTAL	ADDRESS CITY COMMENTS	CITY SUBMITTAL	FINAL CITY SUBMITTAL
1	10/2021		1	10/2021
2	11/2021		2	11/2021
3	1/2022		3	1/2022
4	2/2022		4	2/2022

AMENDED TENTATIVE MAP
UNIVERSITY VILLAGES - PHASE 1B
TITLE SHEET

SCALE:	N/A
DRAWN:	CR
JOB No.:	3089.015

SHEET	TM01
1 OF 12	



MATCH LINE

UNIVERSITY VILLAGE APARTMENTS
UNIVERSITY VILLAGE ASSOCIATES
APN 031-282-059-000

(SEE SHEET TM03)

WOOD RODGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
4470 WILLOW ROAD, STE. 105 TEL. 925.847.1556
PLEASANTON, CA 94588 FAX 925.847.1597

SUBMITTAL / REVISION		CITY SUBMITTAL	ADDRESS CITY COMMENTS	CITY SUBMITTAL	FINAL CITY SUBMITTAL
1	10/2021	1		1	
2	11/2021	2		2	
3	1/2022	3		3	
4	2/2022 & 3/14/22	4		4	

**AMENDED TENTATIVE MAP
UNIVERSITY VILLAGES - PHASE 1B**

**EXISTING CONDITIONS & DEMOLITION
PLAN**

SCALE: 1"=30'

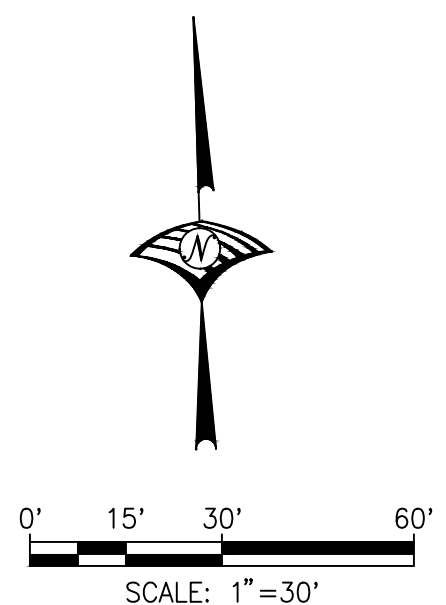
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JOB No.:3089.015

SHEET
TM02
2 OF 12

MARINA, CALIFORNIA

3/14/2022 11:32 AM Rebecca Piant



SCALE:	1"=30'
DRAWN:	CR
JOB No.:	3089.015

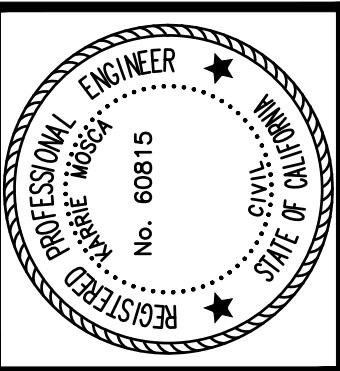
	MARINA CALIFORNIA
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WOOD ROGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
4670 WILLOW ROAD, STE 125 TEL 925.847.1556
PLEASANTON, CA 94588 FAX 925.847.1557



WOOD ROGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
4570 WILLOW ROAD, STE 135 TEL 925.847.1556
PLEASANTON, CA 94588 FAX 925.847.1597



SUBMITTAL / REVISION		CITY SUBMITTAL	ADDRESS CITY COMMENTS	CITY SUBMITTAL	FINAL CITY SUBMITTAL
1	10/2021	1		1	
2	11/2021	2		2	
3	1/2022	3		3	
4	2/2022 & 3/14/22	4		4	

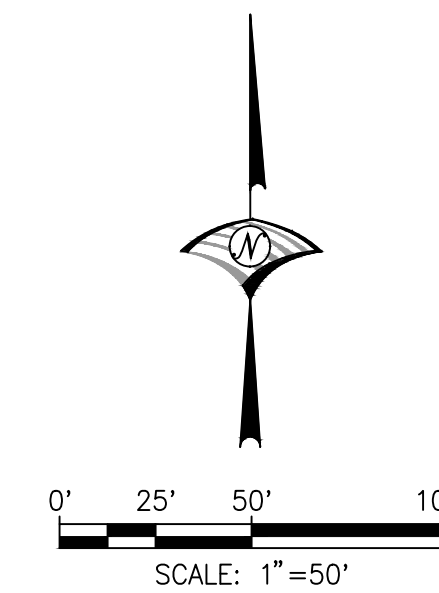
AMENDED TENTATIVE MAP
UNIVERSITY VILLAGES - PHASE 1B
BOUNDARY MAP EXHIBIT

SCALE:	1"=50'
DRAWN:	CR
JOB No.:	3089.015
SHEET	TM04
4 OF 12	

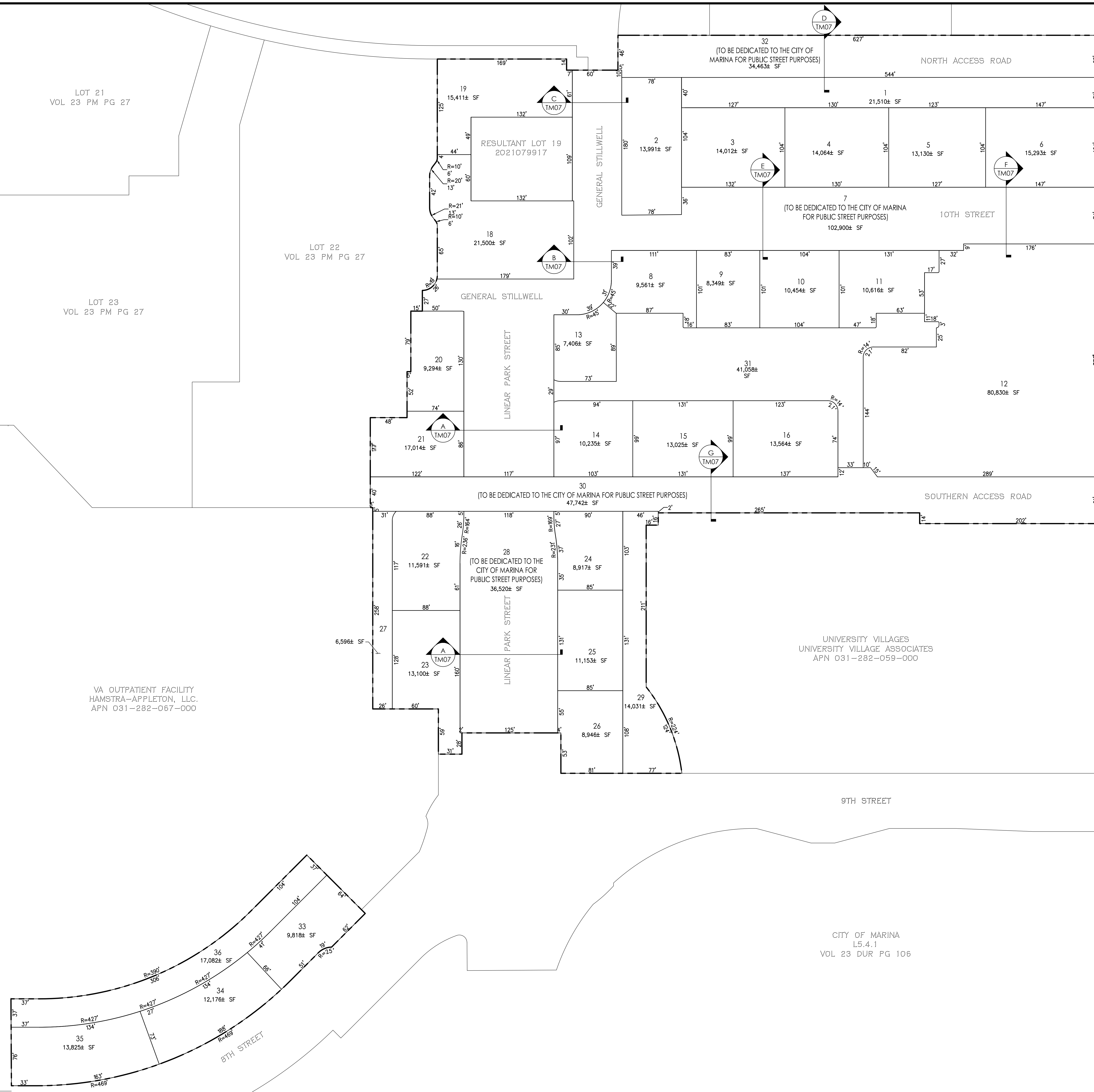
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1	CITY SUBMITTAL
2	ADDRESS CITY COMMENTS
3	CITY SUBMITTAL
4	FINAL CITY SUBMITTAL

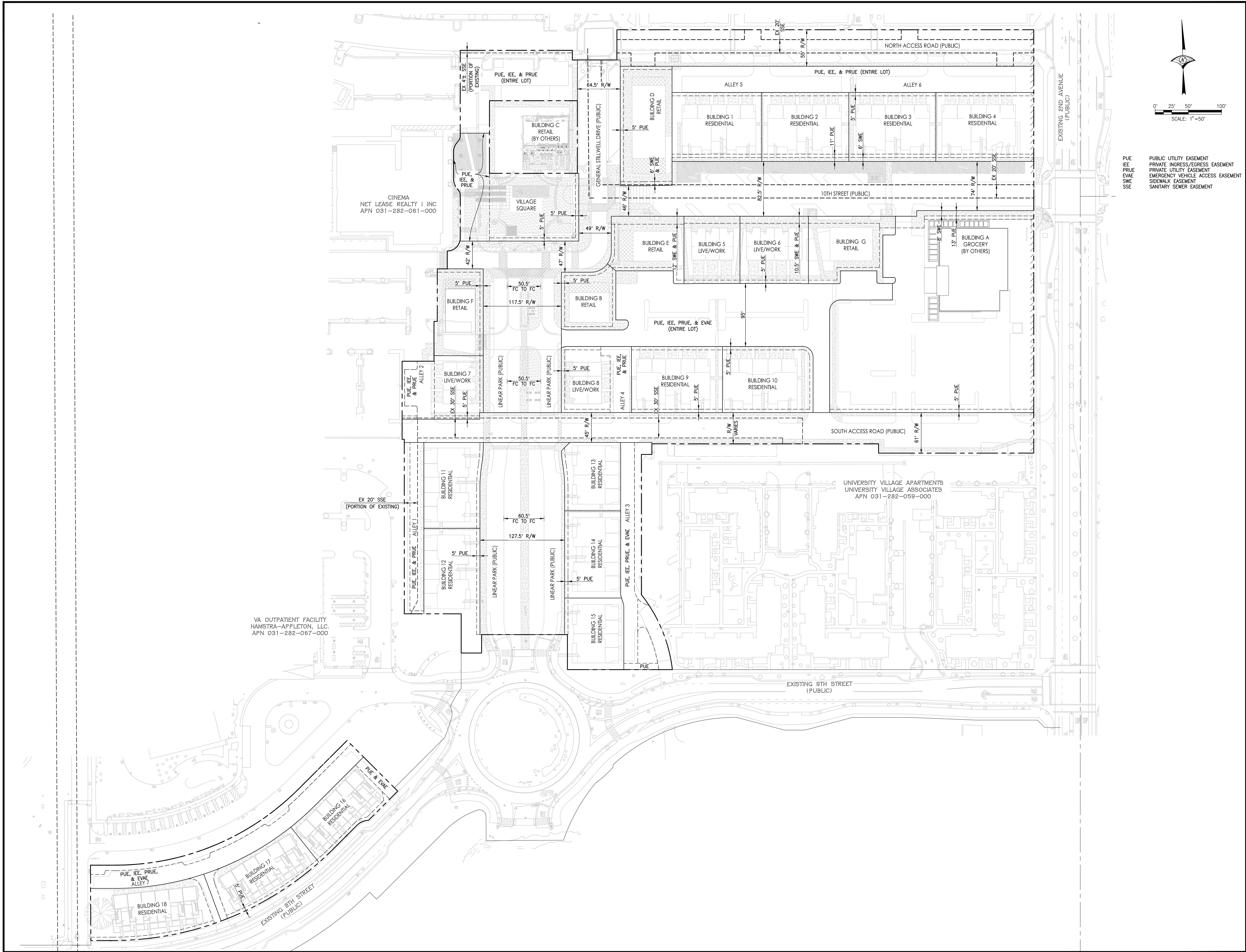
AMENDED TENTATIVE MAP
UNIVERSITY VILLAGES - PHASE 1B
LOTS & PARCELS
MARINA, CALIFORNIA

SCALE: 1"=50'
DRAWN: CR
JOB No.:3089.015
SHEET TM05 5 OF 12



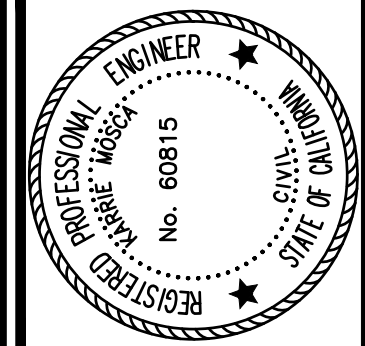
NOTE: LOT 17
NOT USED





PUE PUBLIC UTILITY EASEMENT
IEE PRIVATE INGRESS/EGRESS EASEMENT
PRUE PRIVATE UTILITY EASEMENT
EVAE EMERGENCY VEHICLE ACCESS EASEMENT
SWE SIDEWALK EASEMENT
SSE SANITARY SEWER EASEMENT

WOOD ROGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
4570 WILLOW ROAD, STE 135 TEL 925.847.1556
PLEASANTON, CA 94588 FAX 925.847.1597

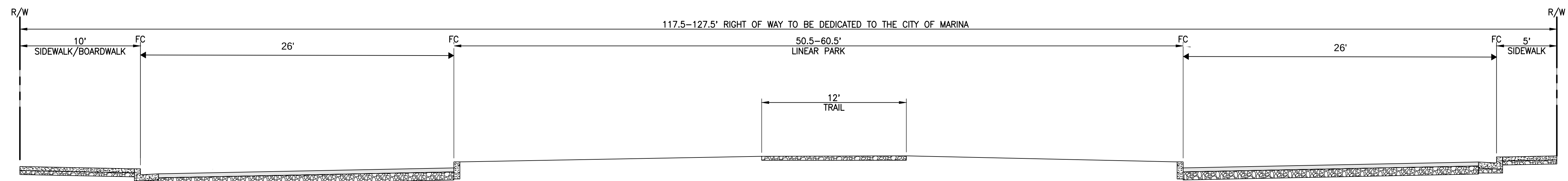


SUBMITTAL / REVISION	
1	CITY SUBMITTAL
2	ADDRESS CITY COMMENTS
3	CITY SUBMITTAL
4	FINAL CITY SUBMITTAL

AMENDED TENTATIVE MAP
UNIVERSITY VILLAGES - PHASE 1B
PROPOSED PUBLIC RIGHT OF WAY
& EASEMENTS

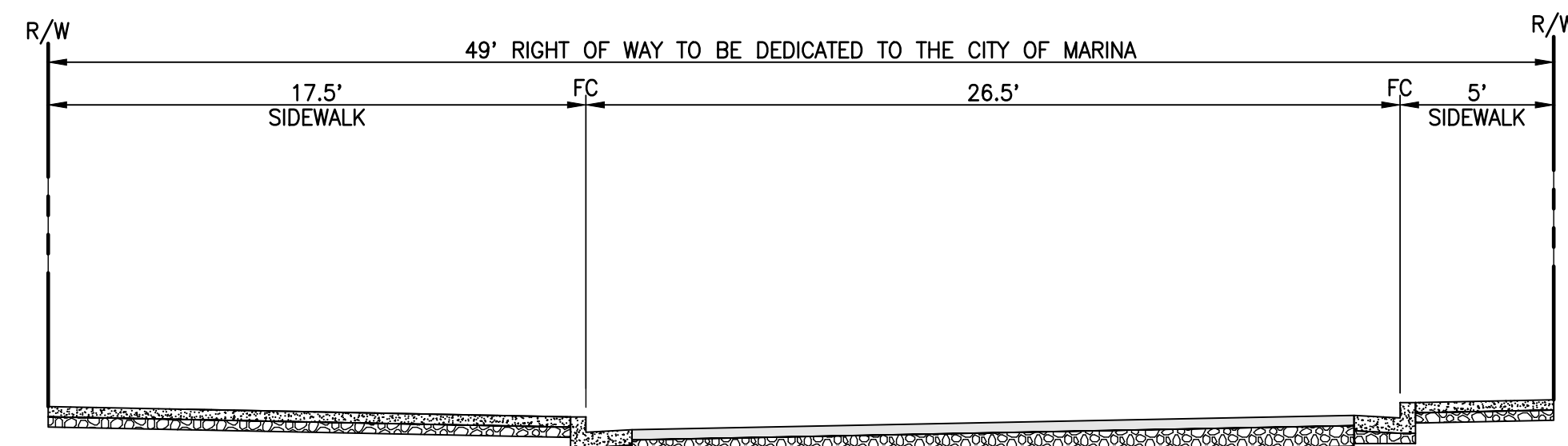
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DRAWN:	CR
JOB No.:	3089.015
SHEET	TM06
6 OF 12	

C:\Users\jg099_Jones At Monterey Bay\0089.015_006-016-016A-016A-016A\Planning\0089.015 Tentative Map - 016\0089.015.dwg 3/17/2022 11:32 AM Rebecca Pratt



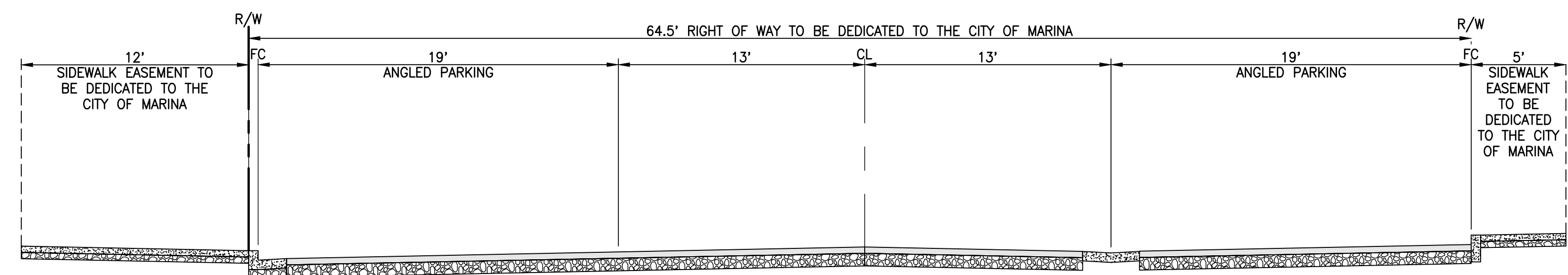
SECTION A - LINEAR PARK

NTS



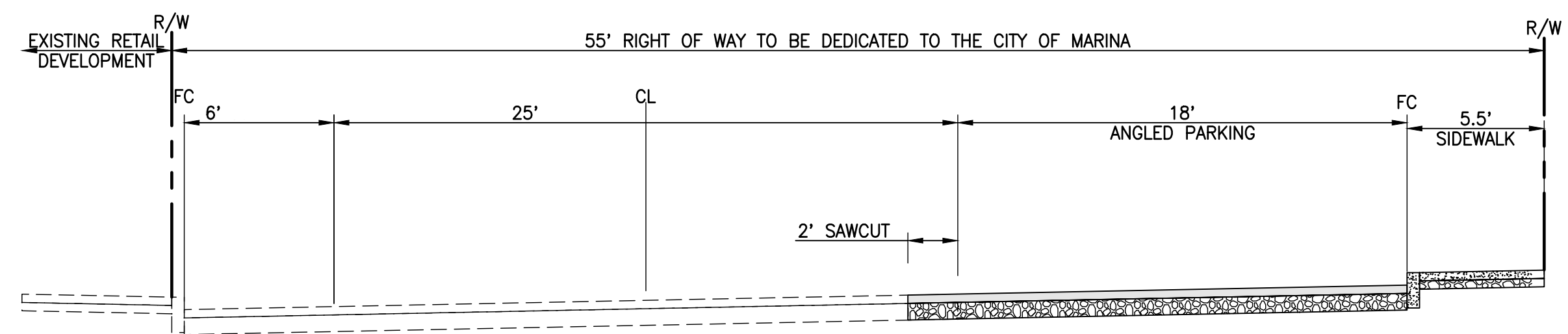
SECTION B - GENERAL STILLWELL

NTS



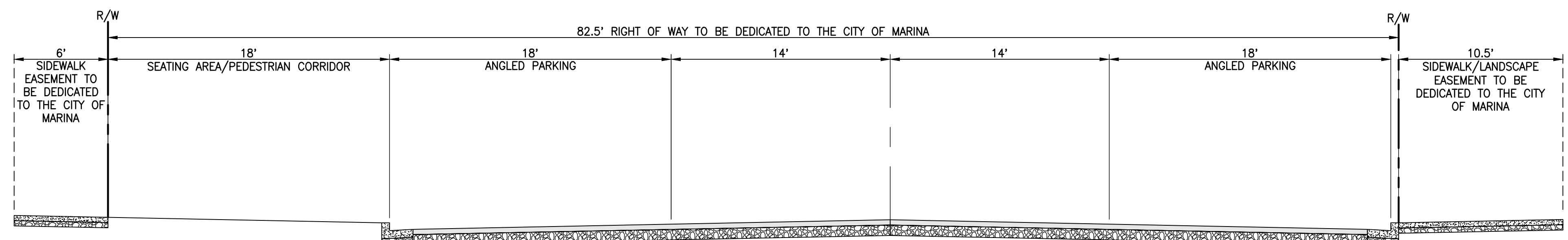
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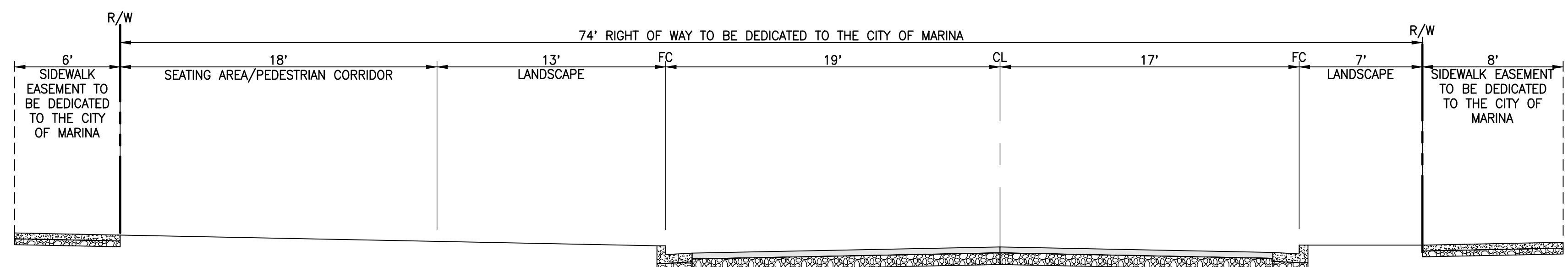
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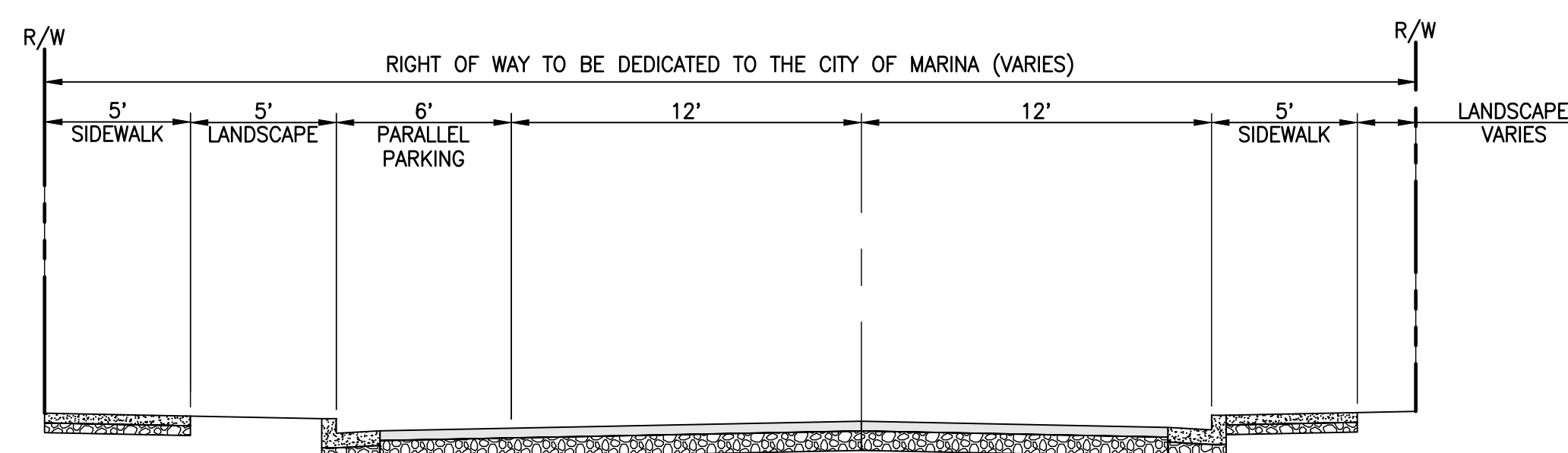
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NTS



SECTION F - 10TH STREET - BUILDING A AND G ENTRY TO 2ND AVE

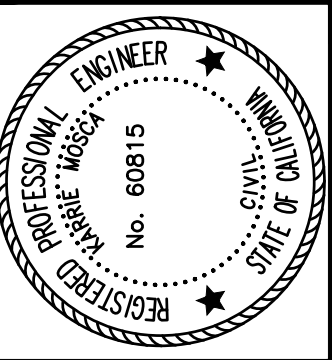
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SECTION G - SOUTHERN ACCESS ROAD

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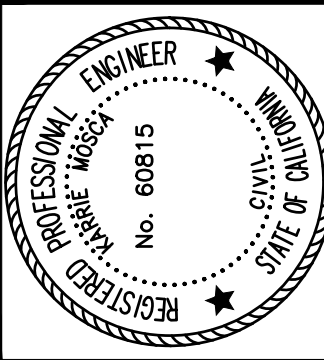
WOOD RODGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
4570 WILLOW ROAD, STE. 105 TEL: 925.847.1556
PLEASANTON, CA 94588 FAX: 925.847.1597



SUBMITTAL / REVISION	CITY SUBMITTAL	ADDRESS CITY COMMENTS	CITY SUBMITTAL	FINAL CITY SUBMITTAL
1	10/2021		2	1/2022
2	12/2021		3	2/2022 & 3/14/22
3	1/2022		4	

AMENDED TENTATIVE MAP
UNIVERSITY VILLAGES - PHASE 1B
STREET SECTIONS (PROPOSED PUBLIC RIGHT OF WAY)

SCALE: N/A
DRAWN: CR
JOB No.:3089.015
SHEET
TM07
7 OF 12



SUBMITTAL / REVISION	
1	10/2021 KM
2	12/2021 KM
3	1/2022 KM
4	2/2022 & 3/14/22
CITY SUBMITTAL	
ADDRESS CITY COMMENTS	
CITY SUBMITTAL	
FINAL CITY SUBMITTAL	

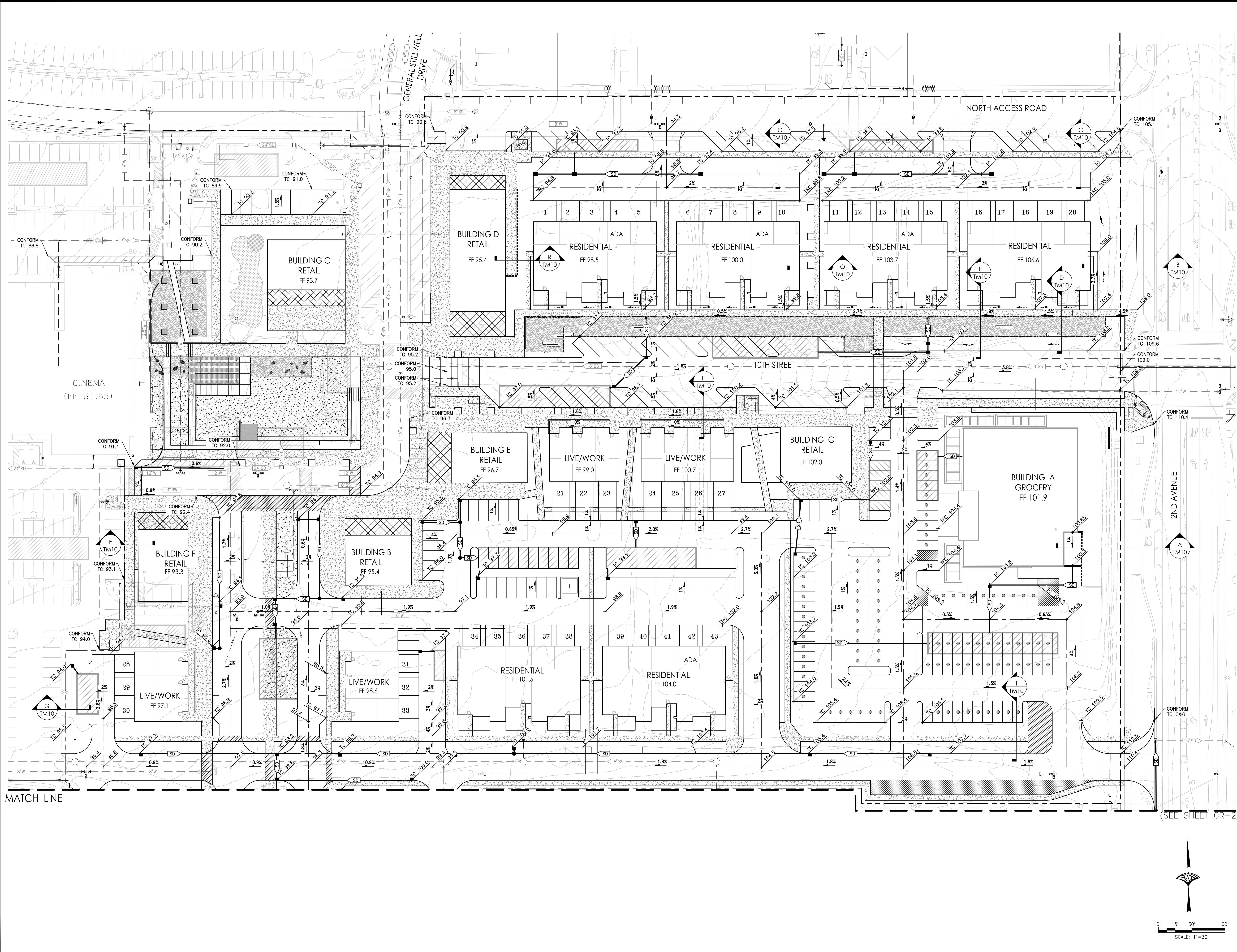
	MADRID	CALIFORNIA
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AMENDED TENTATIVE MAP
UNIVERSITY VILLAGES - PHASE 1B

GRADING AND DRAINAGE PLAN

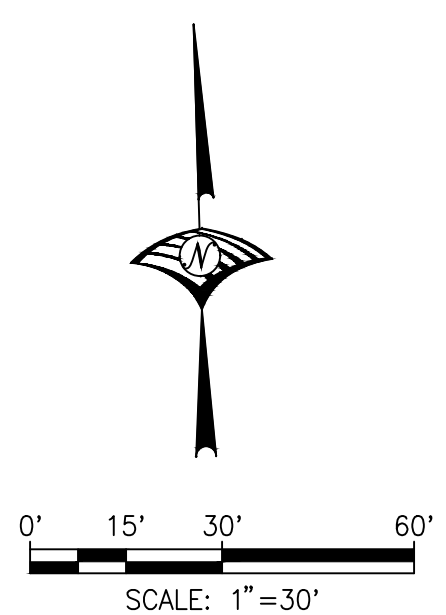
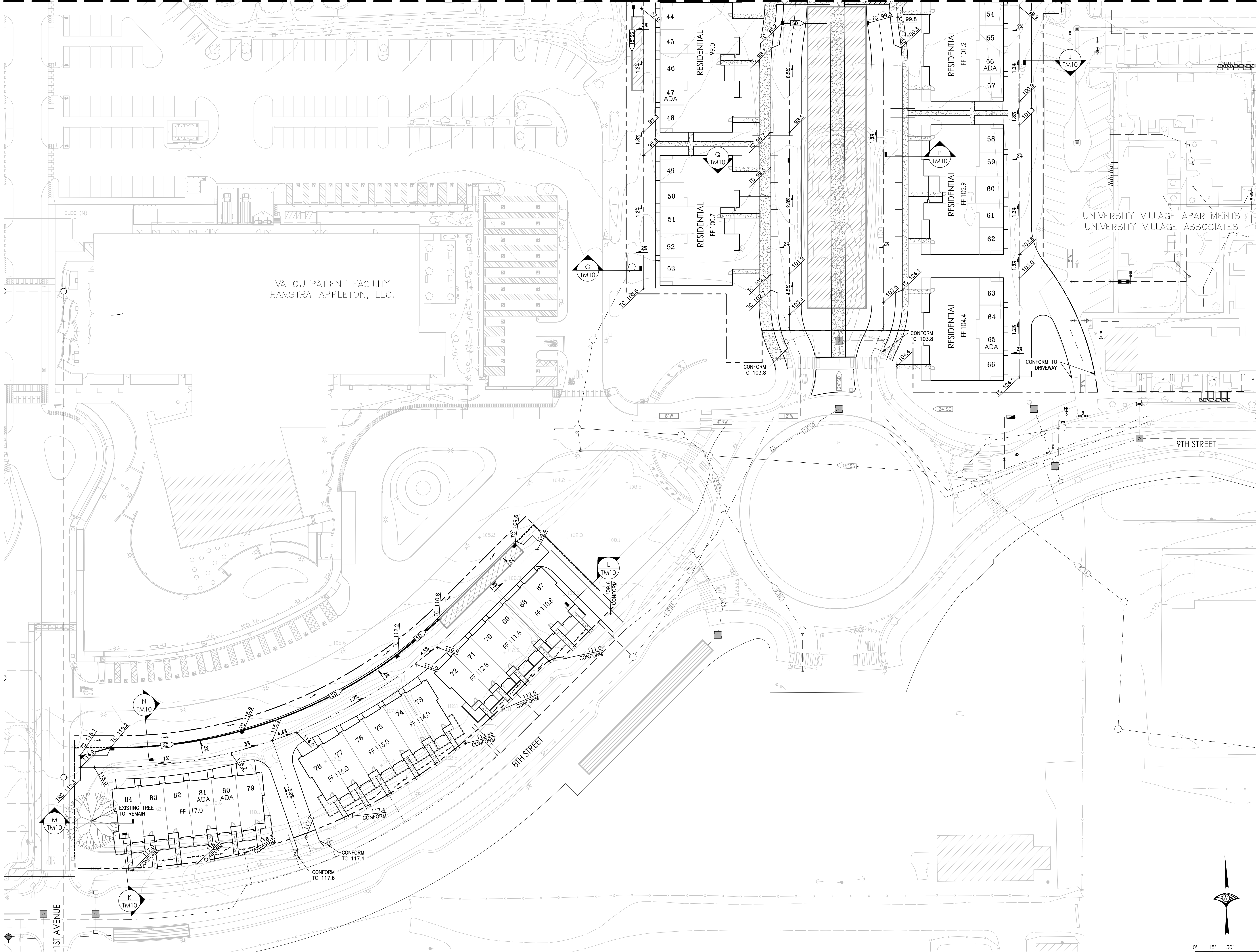
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JOB No.:	3089.015

SHEET
TM08
8 OF 12

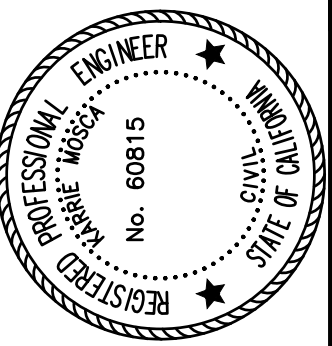


MATCH LINE

(SEE SHEET TM08)



WOOD-ROGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
4570 WILLOW ROAD, STE 135 TEL 925.847.1556
PLEASANTON, CA 94588 FAX 925.847.1597

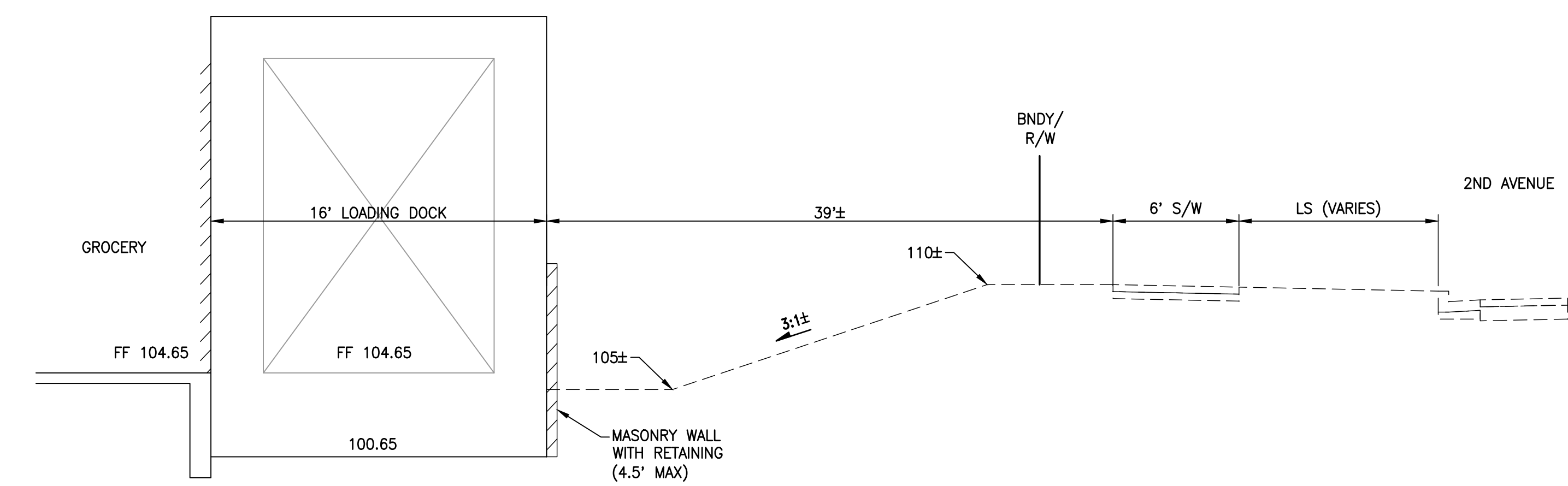


SUBMITTAL / REVISION		CITY SUBMITTAL	ADDRESS CITY COMMENTS
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2	11/2021	KN	
3	1/2022	KN	
4	2/2022 & 3/14/22	KN	

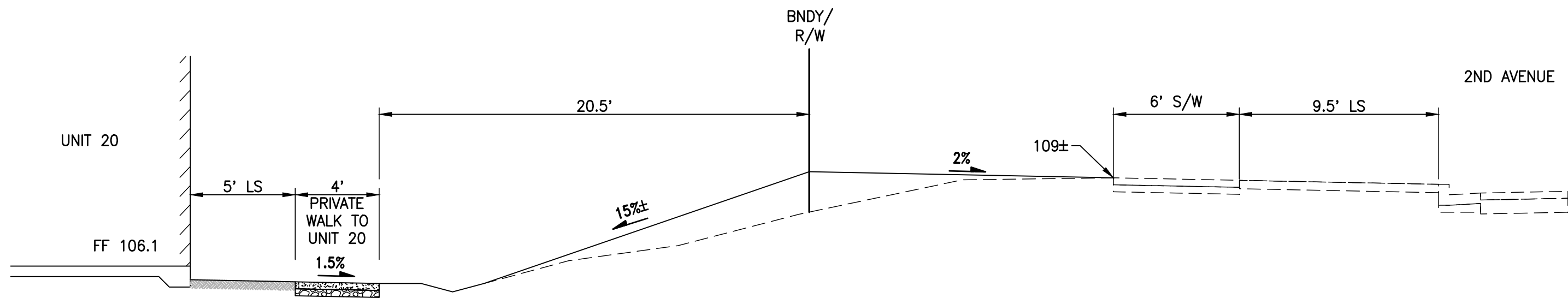
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UNIVERSITY VILLAGES - PHASE 1B
GRADING AND DRAINAGE PLAN

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DRAWN: CR
JOB No.:3089.015

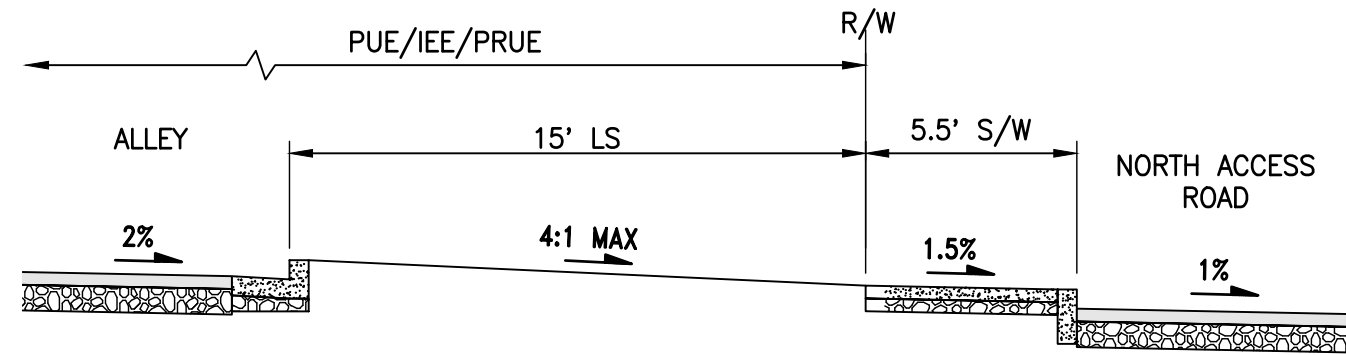
SHEET
TM09
9 OF 12



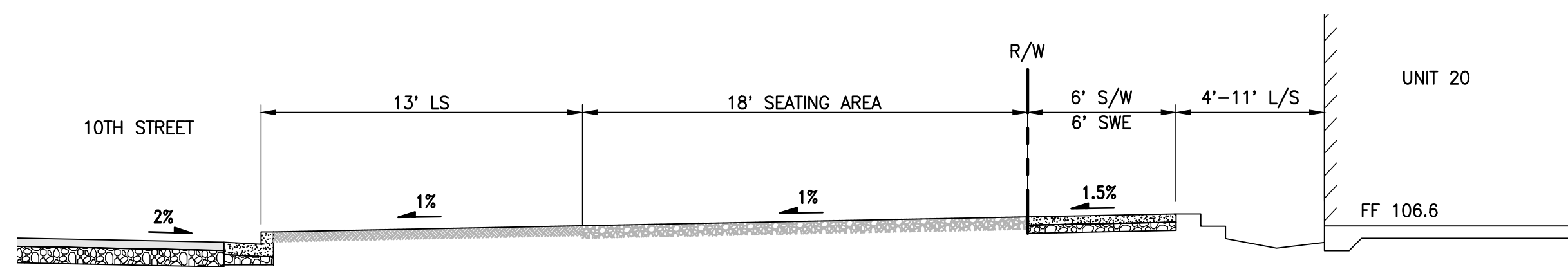
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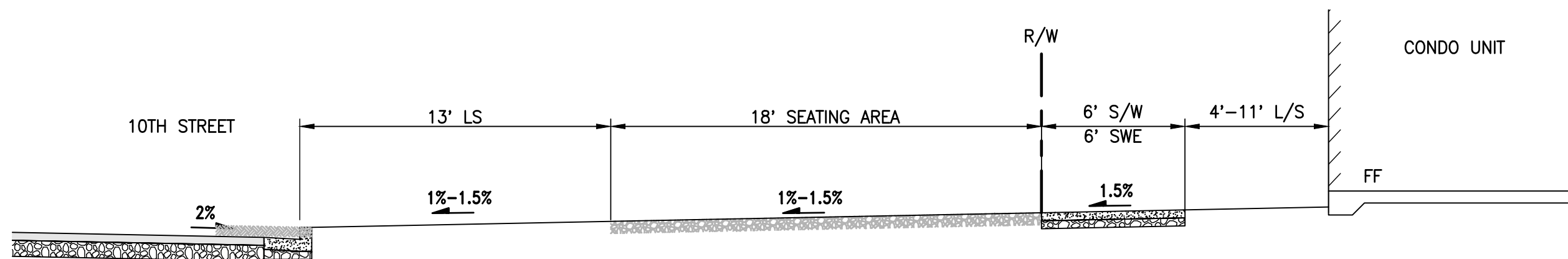
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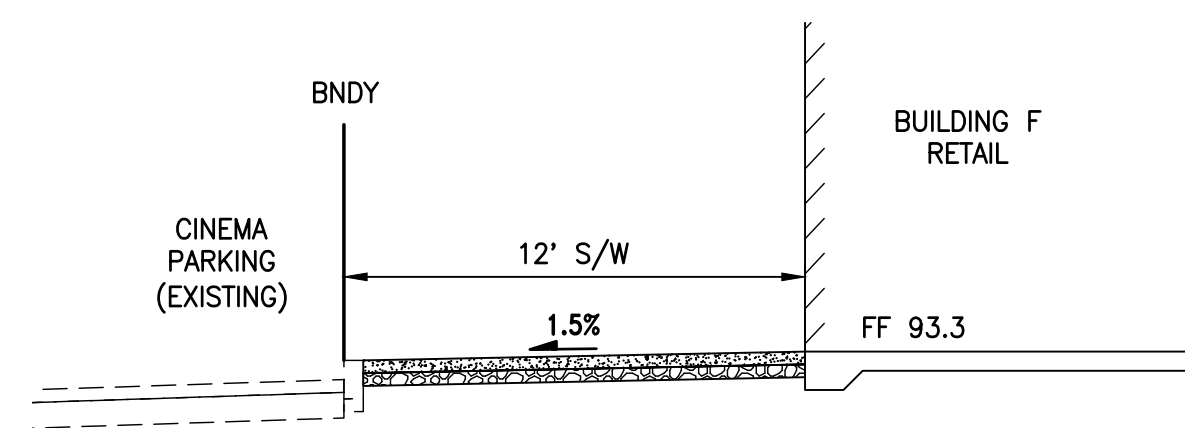
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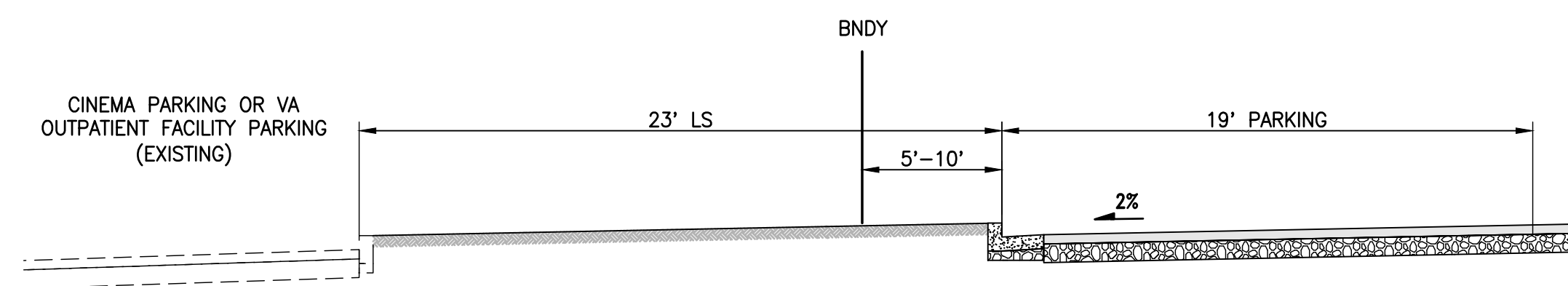
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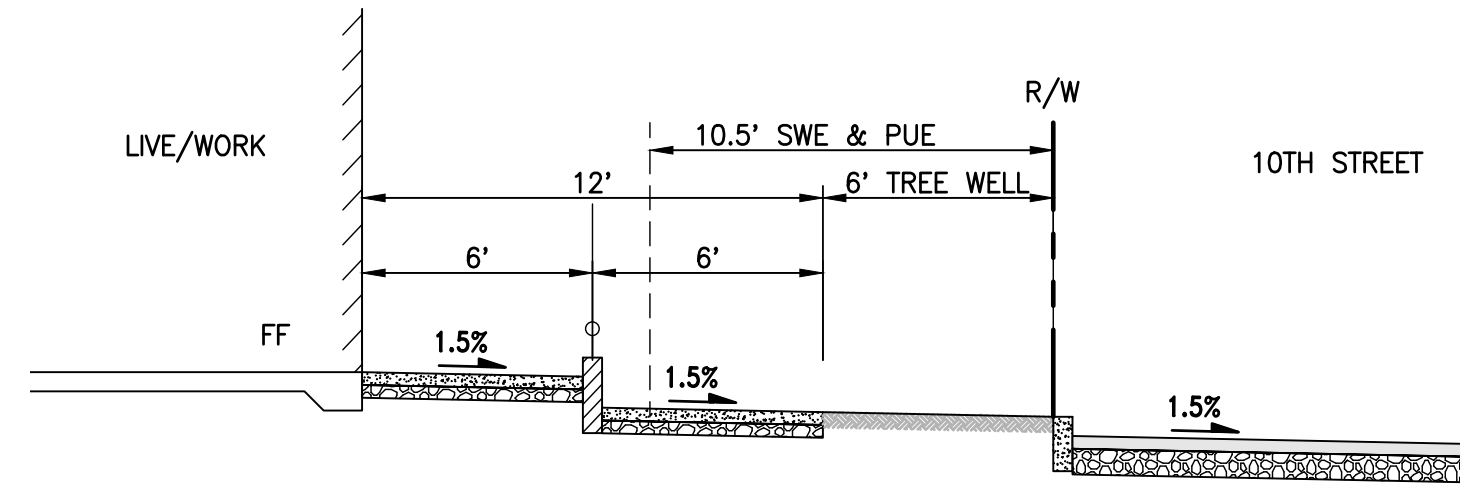
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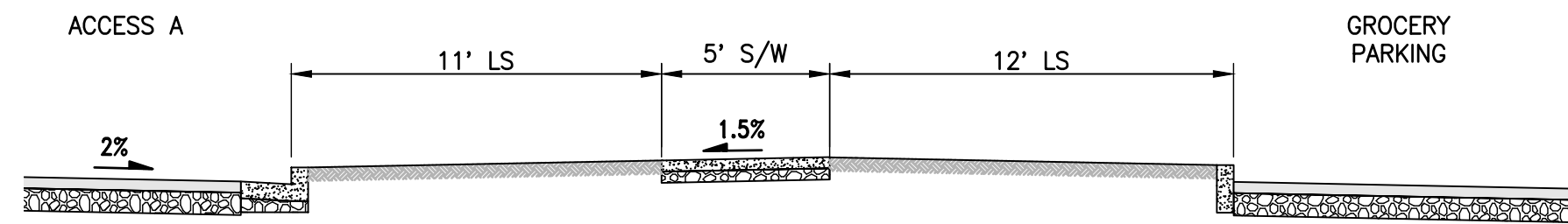
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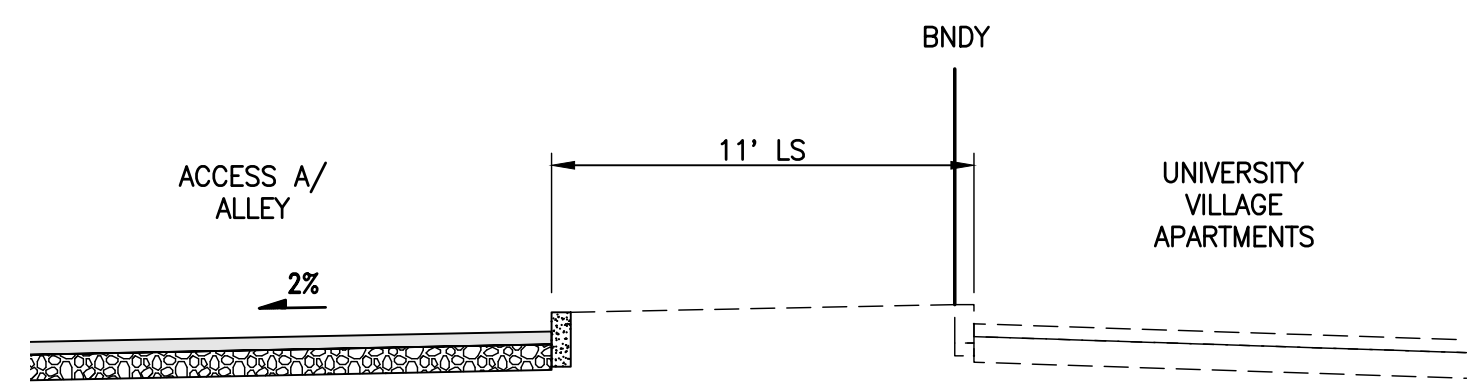
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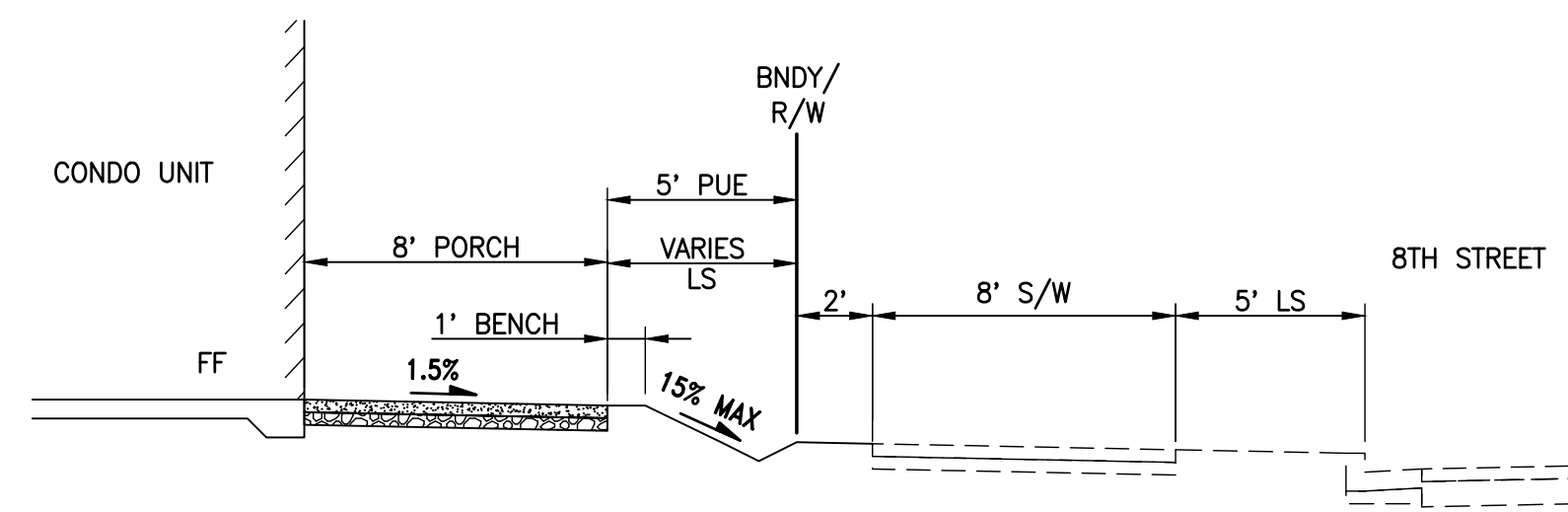
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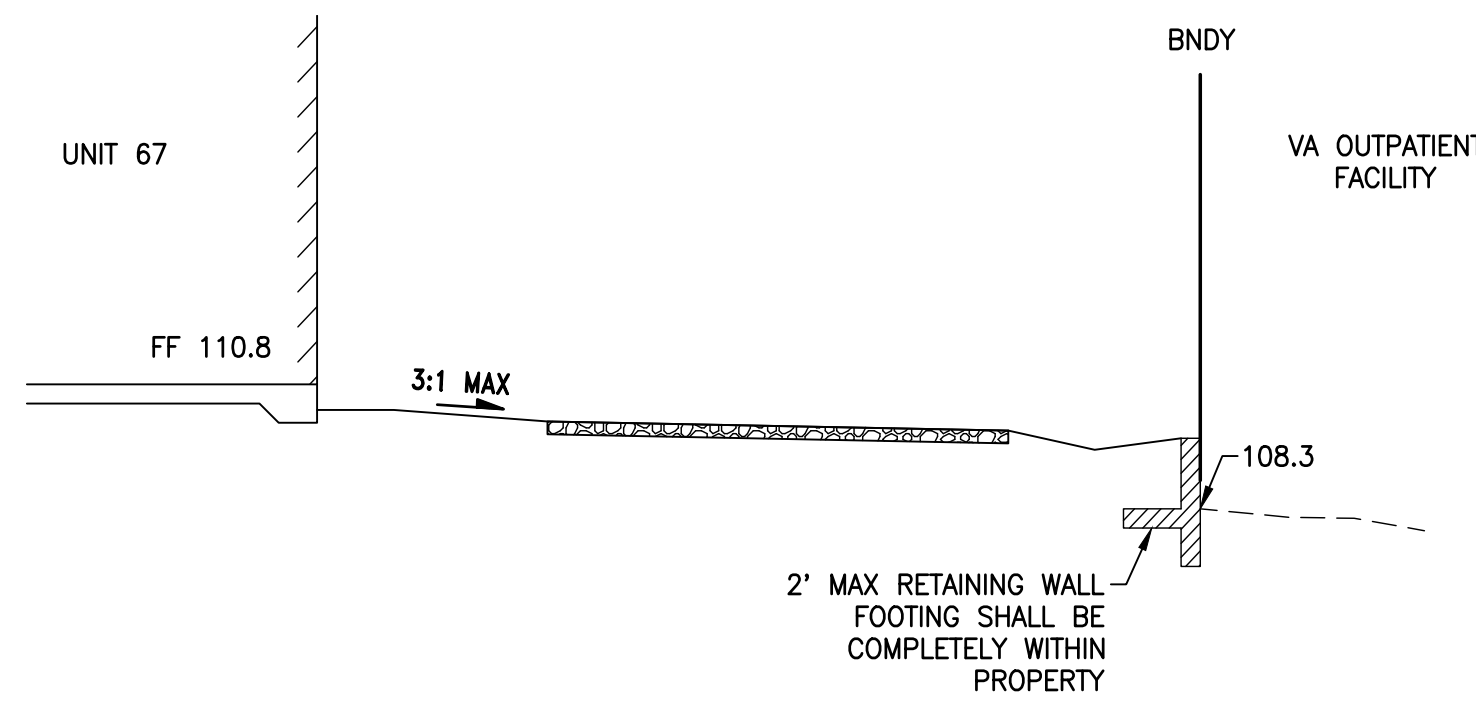
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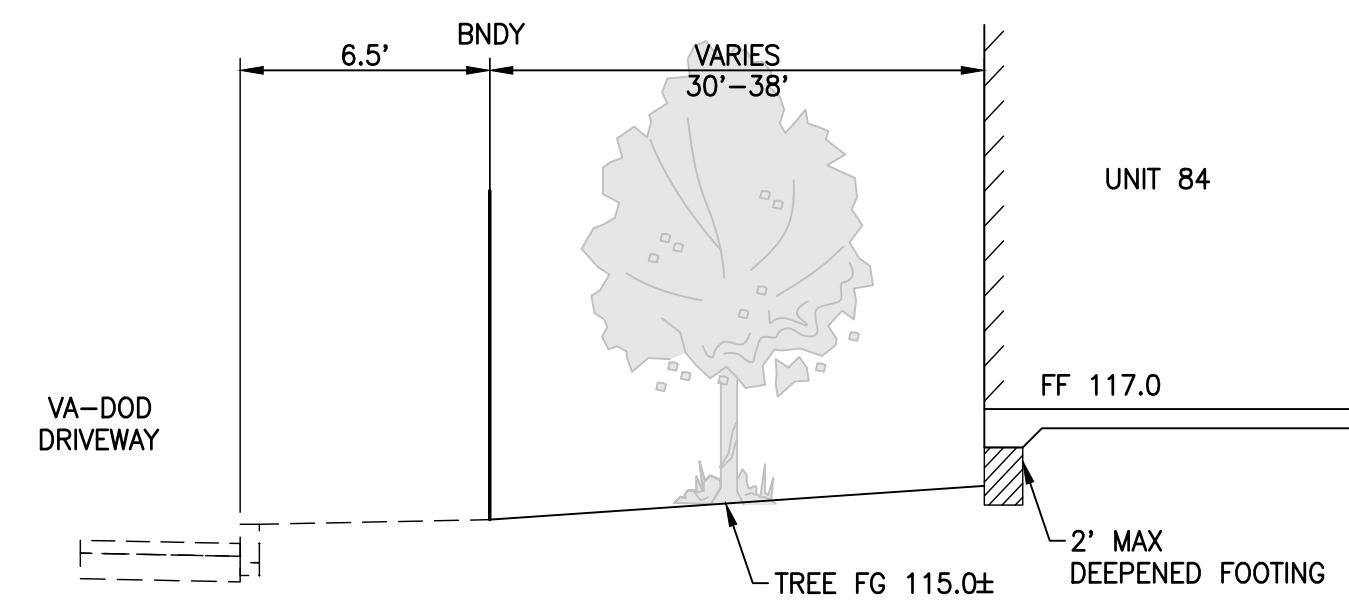
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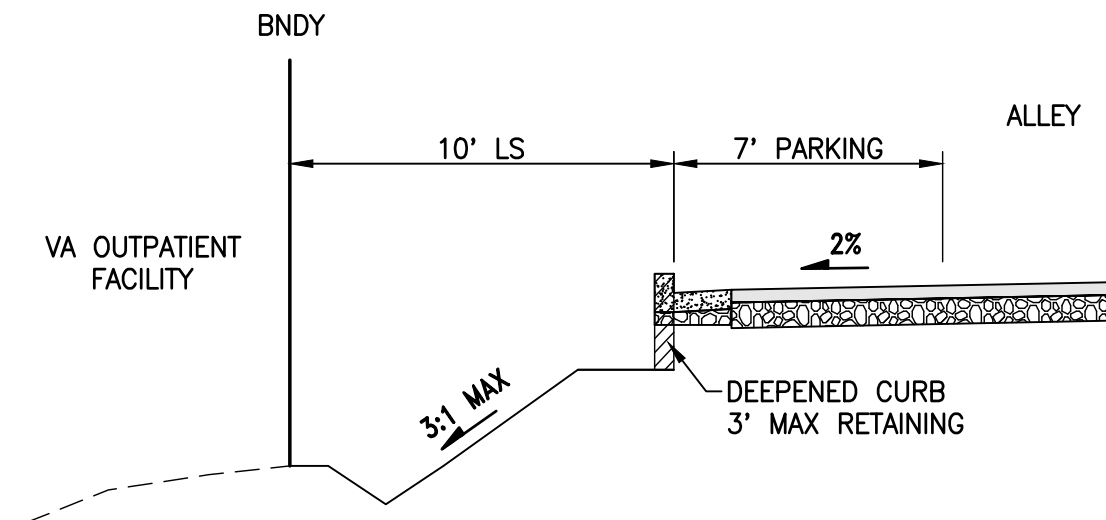
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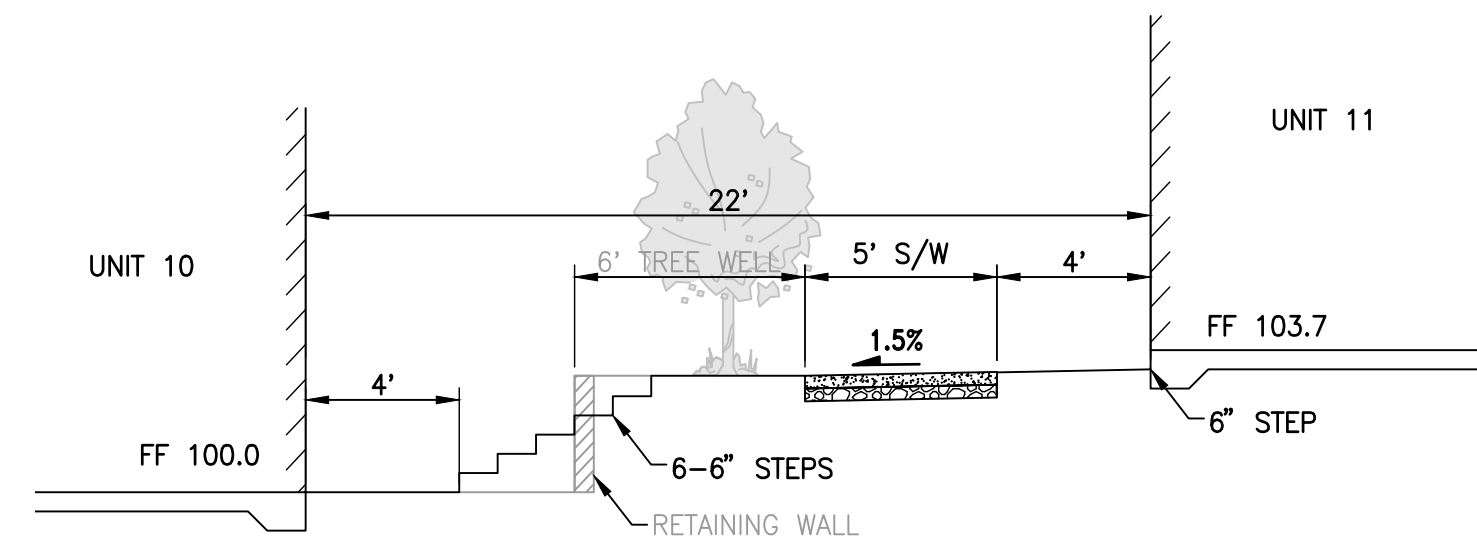
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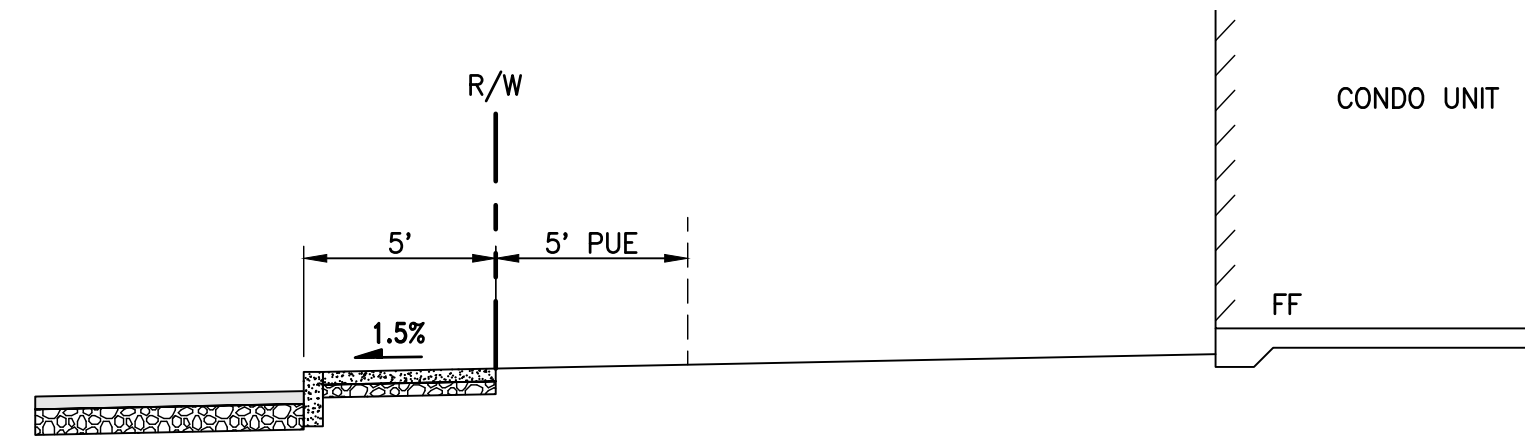
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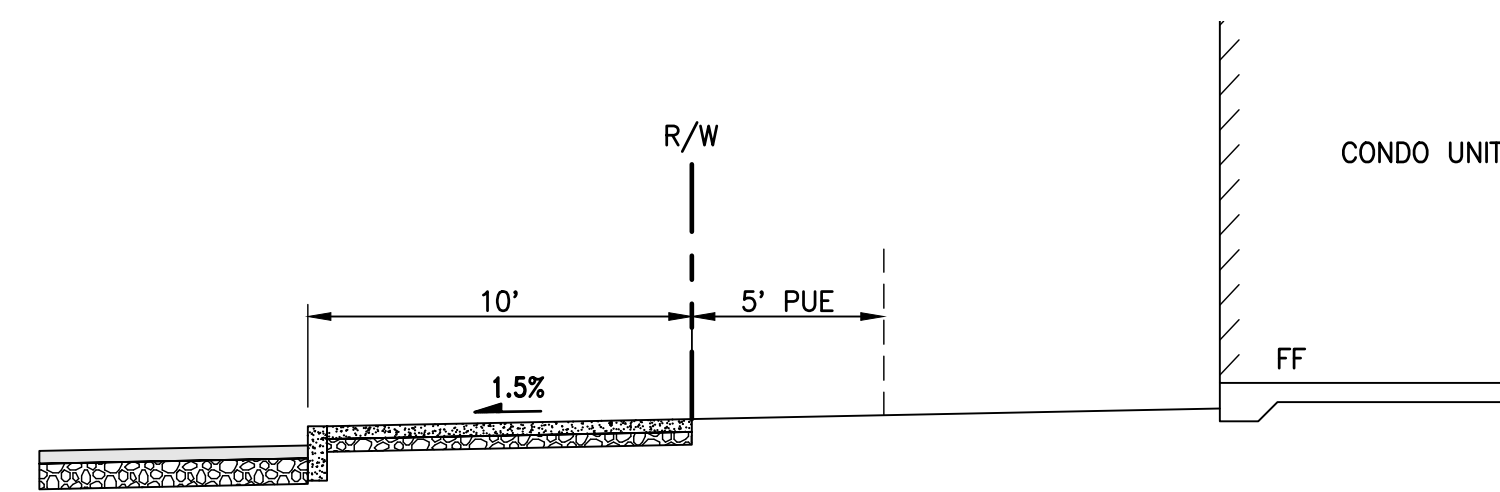
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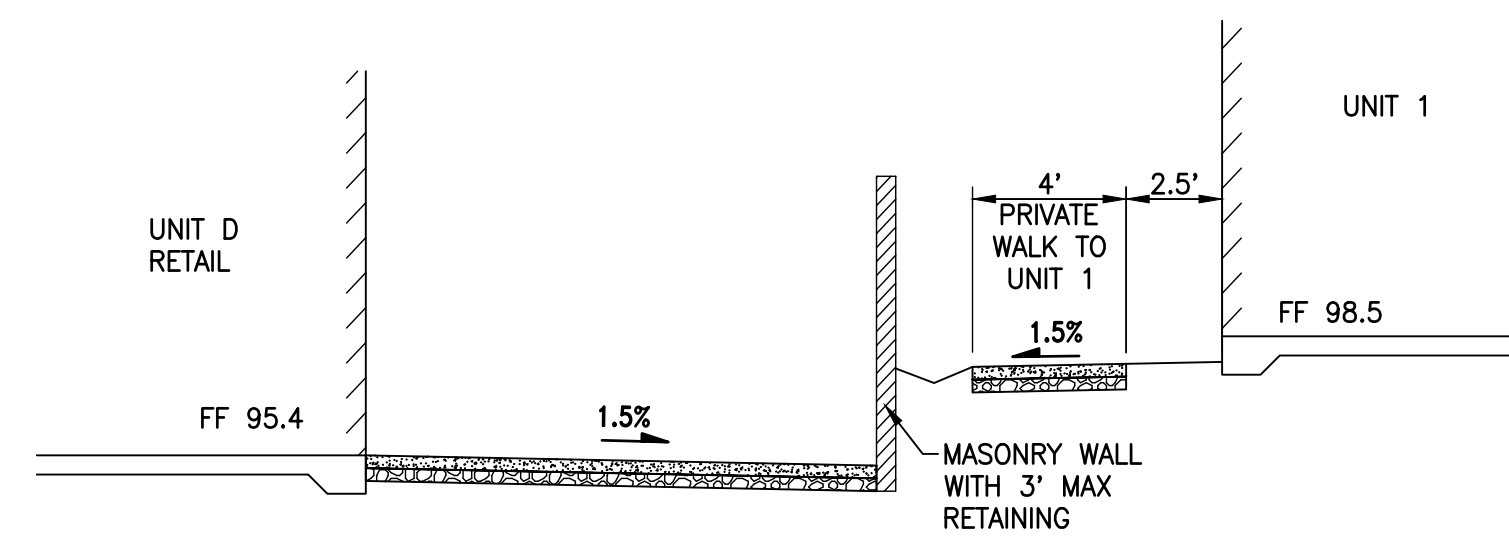
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SECTION P
NTS

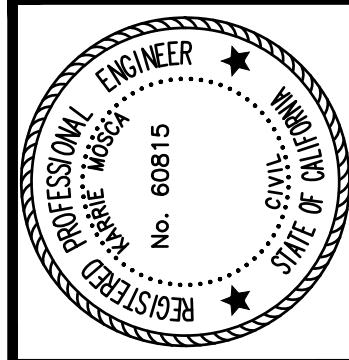


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SECTION R
NTS

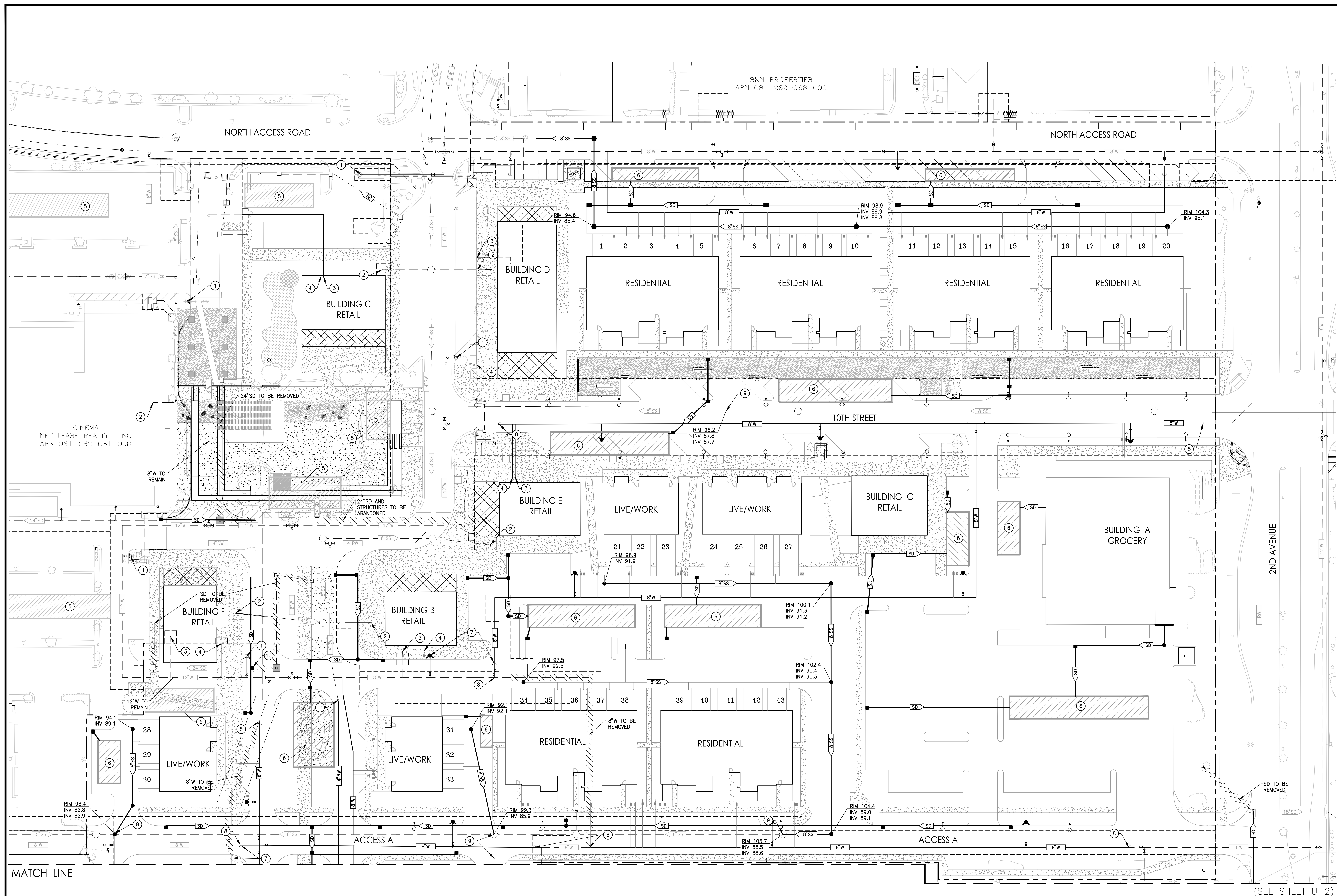
WOOD RODGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
4570 WILLOW ROAD, STE 105 TEL: 925.847.1556
PLEASANTON, CA 94588 FAX: 925.847.1597



SUBMITAL / REVISION	CITY SUBMITAL	ADDRESS CITY COMMENTS	CITY SUBMITAL	FINAL CITY SUBMITAL
1	10/2021			
2	12/2021			
3	1/2022			
4	2/2022 & 3/14/22			

AMENDED TENTATIVE MAP
UNIVERSITY VILLAGES - PHASE 1B
GRADING SECTIONS
MARINA, CALIFORNIA

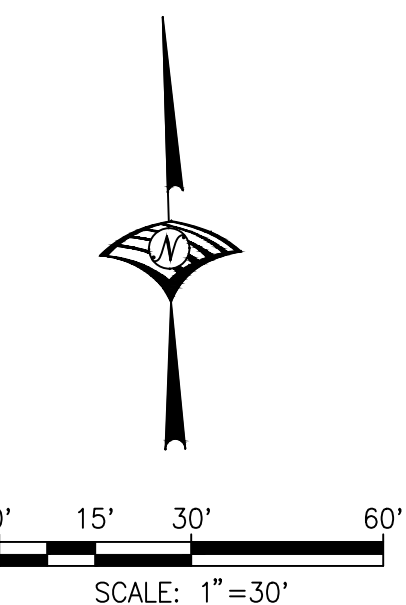
SCALE: N/A
DRAWN: CR
JOB No.:3089.015
SHEET
TM10
10 OF 12



CONSTRUCTION NOTES

- | | | | |
|---|---------------------------------------|----|------------------------------|
| 1 | EXISTING HYDRANT TO REMAIN | 7 | FIRE HYDRANT TO BE RELOCATED |
| 2 | EXISTING SEWER SERVICE TO BE EXTENDED | 8 | CONNECT TO EX WATER |
| 3 | EXISTING WATER SERVICE TO BE EXTENDED | 9 | CONNECT TO EX SANITARY SEWER |
| 4 | EXISTING FIRE SERVICE TO BE EXTENDED | 10 | CONNECT TO EX STORM DRAIN |
| 5 | EXISTING INFILTRATION BLANKET | 11 | CONNECT TO EX RECYCLED WATER |
| 6 | PROPOSED INFILTRATION BLANKET | | |

NOTE: ALL PROPOSED STORM DRAIN PIPES ARE TO BE PERFORMED



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 BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
 4570 WILLOW ROAD, STE 105 TEL: 925.847.1556
 PLEASANTON, CA 94588 FAX: 925.847.1597

REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 No. 60815
 State of California

SUBMITTAL / REVISION		CITY SUBMITTAL	ADDRESS CITY COMMENTS	CITY SUBMITTAL	FINAL CITY SUBMITTAL
1	10/2021	1		1	1
2	11/2021	2		2	2
3	1/2022	3		3	3
4	2/2022 & 3/14/22	4		4	4

AMENDED TENTATIVE MAP
 UNIVERSITY VILLAGES - PHASE 1B

UTILITY PLAN

SCALE: 1"=30'

DRAWN: CR

JOB No.:3089.015

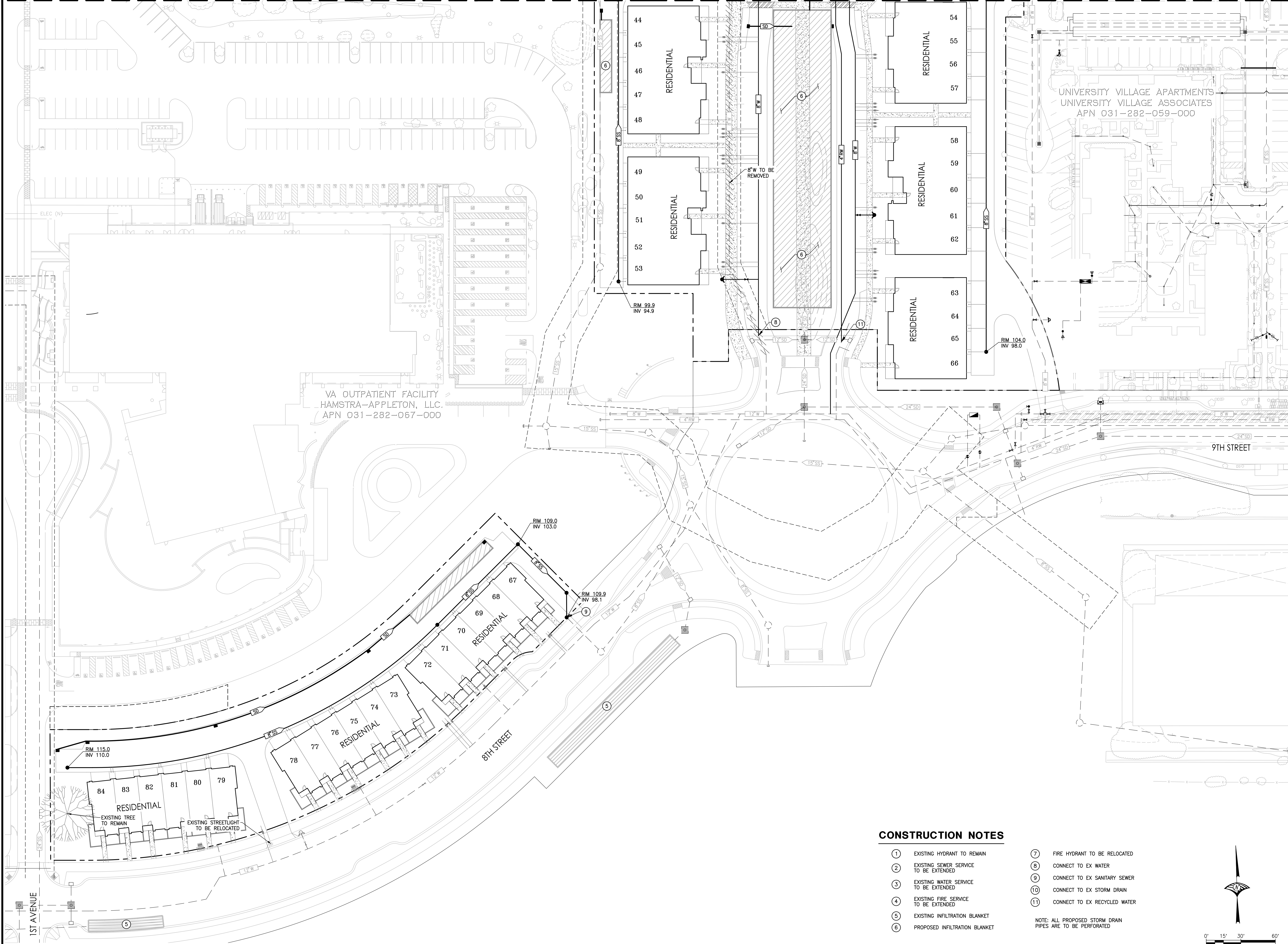
SHEET

TM11

11 OF 12

MATCH LINE

(SEE SHEET TM11)



CONSTRUCTION NOTES

- 1

EXISTING HYDRANT TO REMAIN
- 2

EXISTING SEWER SERVICE TO BE EXTENDED
- 3

EXISTING WATER SERVICE TO BE EXTENDED
- 4

EXISTING FIRE SERVICE TO BE EXTENDED
- 5

EXISTING INFILTRATION BLANKET
- 6

PROPOSED INFILTRATION BLANKET
- 7

FIRE HYDRANT TO BE RELOCATED
- 8

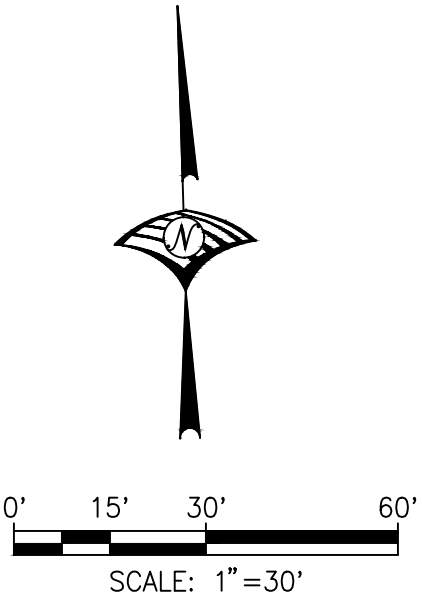
CONNECT TO EX WATER
- 9

CONNECT TO EX SANITARY SEWER
- 10

CONNECT TO EX STORM DRAIN
- 11

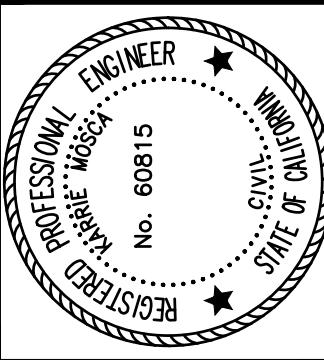
CONNECT TO EX RECYCLED WATER

NOTE: ALL PROPOSED STORM DRAIN PIPES ARE TO BE PERFORATED





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BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
4570 WILLOW ROAD, STE 105 TEL: 925.847.1556
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SUBMITTAL / REVISION	
1	10/2021 CITY SUBMITTAL
2	12/2021 ADDRESS CITY COMMENTS
3	1/2022 CITY SUBMITTAL
4	2/2022 & 3/14/22 FINAL CITY SUBMITTAL

AMENDED TENTATIVE MAP
UNIVERSITY VILLAGES - PHASE 1B

UTILITY PLAN

MARINA, CALIFORNIA

SCALE: 1"=30'

DRAWN: CR

JOB No.:3089.015

SHEET
TM12
12 OF 12

April 29, 2022

Item No. **11a**

Honorable Mayor and Members
of the Marina City Council

City Council Meeting
of May 3, 2022

**CITY COUNCIL CONSIDER ADOPTING RESOLUTION NO. 2022-,
ADOPTING FISCAL YEAR 2021-22 AND FISCAL YEAR 2022-23 MID-CYCLE
BUDGET ADJUSTMENTS, AND AUTHORIZING THE FINANCE DIRECTOR
TO MAKE ALL NECESSARY ACCOUNTING AND BUDGETARY ENTRIES**

REQUEST:

It is requested that the City Council:

- 1) Consider adopting Resolution No. 2022- approving the Fiscal Year 2021-22 and 2022-23 mid-cycle budget adjustments as outlined in the staff report, and
- 2) Authorizing the Finance Director to make all necessary accounting and budgetary entries

BACKGROUND:

The City operates on a two-year budget cycle. In October 2021, the City Council adopted the current two-year budget for Fiscal Years 2021-22 and 2022-23. Mid-cycle of the two-year budget, staff will make a presentation to the City Council updating the current financial outlook of the City including revenue adjustments and proposed expenditure adjustments. The mid-cycle review will also update the status of the top priorities established by the City Council in the budget. This mid-cycle review is particularly important as the City continues to recover from the ongoing economic impacts of the COVID-19 pandemic. The mid-cycle review provides an opportunity for the City Council to make other adjustments to the Fiscal Year 2021-22 and 2022-23 budget.

City Council policy (Resolution 2012-46), requires the City to adopt a structurally balanced budget. This structural balanced budget is defined as recurring annual expenses not exceeding recurring annual revenues and excludes one-time transfers. The adopted FY 2021-22 and FY 2022-23 budget was structurally unbalanced for the General Fund budget and required the use of unallocated fund balance to close the two-year structural budget deficit. Table I below shows the two-year structural budget, as adopted:

Table I: Two-Year Adopted General Fund Structural Budget

	FY 2022 Adopted	FY 2023 Adopted
Revenues	27,300,504	27,666,998
Expenditures	(27,763,242)	(28,145,314)
<i>Surplus/(Deficit)</i>	<i>(462,738)</i>	<i>(478,316)</i>

The City Council made this decision due to the desire to fill all the vacant positions that were left vacant and unfilled during the COVID-19 pandemic, so that the service demands from the community could be met. The structural imbalance was also based on conservative revenue estimates for the recovery of primarily sales tax and transient occupancy tax (TOT) that dropped significantly during the COVID-19 pandemic. While staff expected the revenues would recover, they were budgeted conservatively so they City would not be caught short if the economy did not recover as quickly as expected.

ANALYSIS:

General Fund Revenues

Staff has continuously monitored the City's year-to-date budget performance. General fund recurring major revenue sources are projected to exceed the FY 2021-22 budget by a significant amount for the city's three major revenue sources. Tables II and III show projected vs budget amounts for property tax, sales tax and transient occupancy tax (TOT).

Tables II & III: Major Revenue Updates

	FY 2022 Adopted	FY 2022 Projected	<i>FY 2022 Variance</i>
Property Tax	6,804	7,590	786
Sales Tax	8,382	9,375	993
TOT	3,784	4,200	416
Total	18,970	21,165	2,195

	FY 2023 Adopted	FY 2023 Projected	<i>FY 2023 Variance</i>
Property Tax	6,937	7,813	876
Sales Tax	8,666	9,575	909
TOT	3,983	4,284	301
Total	19,587	21,672	2,086

**amounts shown in thousands*

These revenue sources comprise about 75% of all general fund revenues, are recurring in nature, and serve as the basis for the structural budget. Staff is recommending a revision to the three major revenue sources for the FY 2021-22 and FY 2022-23 budgets.

Cannabis Tax

In November 2018, voters approved Measure Z, a 5% business tax on gross receipts for Commercial Cannabis Businesses. Revenues from this business tax were delayed due to the ongoing pandemic. Staff did not budget for cannabis tax revenues for FY 2021-22 and FY 2022-23 but now recommends a budget revision to increase the budgeted amounts by \$125,000 for both fiscal years.

Additional Recommended Budget Adjustments

In addition to revenue projections, staff has also analyzed significant variances in ongoing and one-time expenses. Staff recommends the following budget adjustments:

Groundwater Protection Legal Expenses

The FY 2021-22 and 2022-23 budgets included an additional \$700,000 in one-time funds to cover legal costs related to litigation of groundwater protection. As this litigation continues through multiple fiscal years, it is necessary that these expenses be categorized as ongoing and necessary to protect Marina's groundwater. Staff is recommending that they be included in our balanced budget formula.

City Attorney & Legal Expenses

The City of Marina is in a period of transition and is currently seeking a new City Attorney after the retirement of Rob Wellington who has been the City's attorney for over 45 years. As part of that transition, staff is analyzing the city's ongoing legal needs and current market rates for such services. Staff recommends that the FY 2022-23 budget for City Attorney legal services be increased from \$250,000 to \$600,000, an increase of \$350,000.

General Plan Maintenance Fee

The City of Marina currently charges a General Plan Maintenance Fee that is used to recover the costs of conducting a comprehensive update of the General Plan. This surcharge, established at 15% of all Building Division Permit Fees, is currently budgeted and recorded within the Planning Department of the General Fund. Periodically, staff budgets for a transfer out from the General Fund to the General Plan Update accounting project (EDC 2014) within the City-wide Capital Improvement Fund (Fund 462). This accounting project serves as the tracking mechanism for resources available and expenses incurred for the comprehensive General Plan update.

To reduce administrative burden and to better track these dedicated transactions, staff is recommending to budget and record these General Plan Maintenance Fees directly to Project EDC 2014 within Fund 462 for FY 2022-23 and all subsequent fiscal years. Staff also recommends a one-time transaction to reconcile these accounts for FY 2021-22. This would allow for a one-time transfer out from the general fund of approximately \$140,000. In addition to this transfer of current year funds, the General Fund also has a commitment of \$125,000 for the General Plan update. In prior years, this has been recorded as a General Fund Committed Balance. Staff is also recommending that these funds be uncommitted and transferred to Project EDC 2014. As shown in the table below, this would increase the resources available for the comprehensive General Plan update to approximately \$965,000. Staff expects to use these funds to secure the services of a top-tier professional planning firm in the next six months to begin the General Plan update process. This adjustment would reduce annual budgeted General Fund revenues by approximately \$40,000 but would have no net effect on General Fund unrestricted revenues as these funds have been restricted specifically for general plan update purposes.

Table IV: General Plan Resources

	Prior Year Activity	FY21/22 Activity (est.)	General Fund Committed Balance	Total General Plan Resources
Revenues	700,000	140,000	125,000	965,000
Expenses	-	-	-	-
Available Balance	700,000	140,000	125,000	965,000

Liability Insurance

Staff periodically receives updated workers' compensation and liability insurance rates. Based on current rates from the Monterey Bay Area Self Insurance Authority (MBASIA) staff recommends an increase in Liability insurance of \$250,000 for FY 2022-23. These expenses are paid from the general fund.

CalPERS Unfunded Pension Liability Expenses

The City of Marina provides its employees with a defined benefit pension plan through the California Public Employees' Retirement System (CalPERS). Due to the volatility of CalPERS investments returns over the years, as well as increased life expectancies, most CalPERS participating agencies have an unfunded pension liability. To cure the issue, CalPERS implemented a series of policy decisions with the intent to reduce these liabilities. As a result, CalPERS has phased in annual unfunded liability payments that will help close the funding gap. The annual payments, which can be

paid in a lump sum in July of each year, are expected to grow incrementally over the course of the next decade or so and then taper off until about 2045.

CalPERS produces an annual actuarial valuation report for every participating agency. The actuarial report provides additional details and an updated projection of pension payments for the next 25 years. Staff periodically reviews this report and compares budgeted unfunded pension liability payments to the payments that are due in July. For FY 2022-23 staff budgeted unfunded pension liability payments in the total amount of \$1,900,000. Staff recommends increasing the FY 2022-23 budget for these unfunded pension liability payments by \$80,000 to \$1,980,000.

Planning Department Document Scanning

The Planning Department collects a nominal fee for the reproduction of documents. This fee allows the city to recoup the costs of storing and reproducing such documents. Most of the City's permanent building and planning records are stored in paper format at the Permit Center. The digitization of these files will allow for more efficient use of storage space, readiness from unforeseen disasters and more timely file retrieval when the city receives public records requests.

The Planning Department currently has a \$53,000 cost proposal from BMI Imaging Systems for the scanning and digitization of these files. Staff recommends increasing the FY 2022-23 budget of the Planning Department within the General Fund by \$53,000 to allow for this much-needed project. This is a one-time budget adjustment for the implementation of the scanning system. From FY 2015-16 through FY 2021-22, document reproduction fees totaling approximately \$25,000 have been budgeted and recorded in the General Fund. Subsequent fee collection revenues, averaging \$3,000 annually, will pay for the ongoing costs of system maintenance and updates.

Shein Living Trust Funds

On December 7, 2021, council adopted resolution 2021-122 to accept \$236,290 from the Annemarie Shein Living Trust. Half of the funds were allocated to the Police Department and the other half to the Fire Department. These funds were to be used for the purchase of equipment and/or support of program funding to enhance the safety of residents, businesses, and visitors to the City of Marina. To date, the Fire Department has spent approximately \$88,000 (Reso 2022-35) and the Police Department has spent approximately \$37,000 (Reso 2022-27) in their respective shares of funds. Staff recommends rolling over the remaining trust funds by increasing the FY 2022-23 budgets of the Fire and Police departments by the remaining amounts of each department's share of the trust funds at year-end.

Public Works Replacement Riding Mowers

The Public Works Department is proposing the purchase of two (2) new Toro ZMaster 6000 series 60-inch riding mowers. These mowers will be used daily to maintain and groom City parks, islands, and city-owned rights-of-way. If purchased, the mowers will replace two (2) Toro riding mowers that are 14 and 18 years old, which is well beyond their useful lives of 7 to 10 years. Public Works staff currently have a quote from Turf Star, a Toro mower dealer, for approximately \$15,000, including sales tax, for each mower. Staff recommends increasing the Public Works general fund budget by \$30,000 for FY 2022-23 to purchase the new Toro mowers.

Citywide Access Control

Staff have explored a long-term solution to the city's physical access security control needs for City facilities. This type of security control, known as access control, is crucial to provide a high level of security and safety for City staff and resources. Access control can help staff manage access to City facilities and doors and specify the days and time when access is available. Access control can determine under which conditions employees are allowed access to sensitive records such as public safety, legal, and personnel files. Access control also minimizes the risk of un-authorized physical access to computer systems, forming a foundational component of personnel security, information security, data security, network security and property security.

Access control works by identifying users through various login credentials, which can include usernames and passwords, PINs, biometric scans, and security tokens. Once a user is authenticated, access control then authorizes the appropriate level of access and allowed actions associated with that user's credentials. Access control also allows access to be immediately withdrawn if a key fob or token is stolen or lost. With an Access Control system, we can immediately disable access and issue new access for the authorized employee. Staff will also be able to issue temporary access to City Buildings, such as a building rental at Vince DiMaggio. The system also creates an audit trail to track user access points and times. A potential system will be expandable to include additional facilities and video features at nominal costs.

An initial one-time system purchase will likely cost up to \$130,000. Hardware and retrofit for all access points is the main cost driver for such a system. Staff recommends increasing the General Fund budget by \$130,000 for FY 2022-23 to purchase the access control system. This system also provides for an initial license period for up to 5 years, which is included in the initial purchase. Staff will budget for subsequent license renewals, likely in the range of \$25,000 every 5 years.

Fire Mutual Aid

The Marina Fire Department participates in the California Office of Emergency Services (Cal OES) Mutual Aid System. Periodically, Marina will assist other jurisdictions to restore order during emergencies, including fires. Marina is reimbursed for staff support rendered through the Mutual Aid System. Fire staff have provided mutual aid support for emergencies such as the Caldor and Dixie fires. Staff is recommending that mutual aid revenues for FY 2021-22 be increased by \$517,080 and corresponding personnel, vehicle maintenance and travel expenses be increased by \$517,080. These expenses have been incurred for the fiscal year and most reimbursements have been received. These are one-time transactions that have a net neutral effect on the budget.

Casa de Noche Buena Contribution

Casa Noche Buena, located in Seaside, is a homeless shelter operated by the non-profit organization Community Human Services (CHS). The shelter provides guests with a warm, safe place to stay while receiving intensive case management and supportive services, including linkages to employment and mental health and substance abuse services based upon their individual needs.

Council previously approved a one-time contribution of \$10,000 to the shelter in FY 2020-21. CHS has asked all the cities on the peninsula to contribute \$1 per resident and has approached the City and requested a contribution of \$22,000 for FY 2021-22. All other peninsula cities have committed to a contribution for FY 2021-22 based on the \$1 per resident approach. Contributions for FYs 2021-2022 and 2022-23 would average about \$22,000 per year with a total contribution of approximately \$44,000. These funds would be considered one-time expenditures within the general fund and would come from unallocated fund balance.

Measure X

Measure X Revenues are generated via a countywide three-eighths' of one-percent (3/8%) retail transactions and use tax. These funds are used to maintain and repair local street and road systems. Marina has maintained a conservative approach in budgeting the city's share of revenues. Based on the most current projections from the Transportation Agency for Monterey County (TAMC), staff recommends that these budgeted revenues be adjusted upward by \$270,000 for FY 2021-22 and \$290,000 for FY 2022-23. These funds are also transferred to the Measure X Capital Projects Fund (Fund 422). Staff recommends that transfers out from Fund 222 to Fund 422 be increased by the corresponding increases in Measure X Revenues for FYs 2021-22 and 2022-23. These updated projections are a positive sign for our local economy and will also help the city to pursue a Measure X bond. Staff will provide additional information on the Measure X bond process as that becomes available.

Tables V & VI: Measure X (Fund 222) Budgeted Revenues

	FY 2022 Adopted	FY 2022 Revised	Variance
Measure X Revenues	660,000	930,000	270,000

	FY 2023 Adopted	FY 2023 Revised	Variance
Measure X Revenues	660,000	950,000	290,000

Balanced Budget Formula

The recommended budget adjustments are in compliance with Resolution 2012-46. The FY 2022-23 now has a modest surplus of just over \$300 thousand. The tables below show the balanced budget formula with all recommended budget adjustments. Staff has also attached **EXHIBIT A** to reconcile the full budget with the balanced budget formula that excludes one-time transactions.

Tables VII & VIII: Structural Budgets (Balanced Budget Formula)

	FY 2022 Adopted	FY 2022 Revised	Variance
Revenues	27,300,504	29,815,107	2,514,603
Expenditures	(27,763,242)	(28,699,532)	(936,290)
Surplus/(Deficit)	(462,738)	1,115,575	1,578,313

	FY 2023 Adopted	FY 2023 Revised	Variance
Revenues	27,666,998	29,986,177	2,319,179
Expenditures	(28,145,314)	(29,678,314)	(1,533,000)
Surplus/(Deficit)	(478,316)	307,863	786,179

Emergency Reserve Policy

The City has a General Fund Emergency Reserve Policy that establishes a reserve of 20% of operating revenues. Staff recommends that this reserve be increased for FY 2022-23 to align with the recommended revenue revisions. This would require an approximate increase of approximately \$433 thousand compared to the FY 2022-23 budgeted amount. This would decrease unallocated fund balance by the same amount.

Unallocated Fund Balance

At the time of the final budget adoption, Unallocated Fund Balance was projected to be at \$770 thousand. That projection captured the adopted FY 2021-22 and FY 2022-23 budgets, which included all one-time uses of unallocated fund balance. Staff estimates unallocated fund balance may actually increase to \$3.7 million, which factors in all recommended budget adjustments. Staff is nearing completion of the FY 2020-21 audited financial statements and will provide a final unallocated fund balance figure as that report is finalized.

City Council Priority List and Consolidated Project List

The attached **EXHIBITS B & C** are the top priorities established by the City Council in the adopted budget and the ongoing Consolidated Project List. An update of the status of these top priorities will be provided as part of the presentation at the City Council meeting.

FISCAL IMPACT:

The actions recommended in the report will allow the City to function in a fiscally responsible manner.

CONCLUSION:

This request is submitted for City Council consideration and possible action.

Respectfully submitted,

Juan Lopez
Finance Director
City of Marina

REVIEWED/CONCUR:

Layne P. Long
City Manager
City of Marina

RESOLUTION NO. 2022-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MARINA ADOPTING THE FISCAL YEAR 2021-22 AND FISCAL YEAR 2022-23 MID-CYCLE BUDGET ADJUSTMENTS, AND AUTHORIZING THE FINANCE DIRECTOR TO TAKE ALL NECESSARY ACCOUNTING AND BUDGETARY ENTRIES

WHEREAS, the City and Agency budget is an estimation of resources, revenues and expenditures for a fiscal year period, which is July 1st through June 30th and;

WHEREAS, the City Council previously adopted the two-year budget for Fiscal Years 2021-22 and 2022-23, and;

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Marina:

1. That the City Council adopts the FY 2021-22 and FY 2022-23 budget adjustments as detailed and recommended in the accompanying staff report and Exhibit A, and;
2. Continues established procedures for amending the budget as follows:

BUDGET ADJUSTMENTS, REALIGNMENTS & AMENDMENTS

The Marina City Manager and Executive Director of the Successor Agency to the Marina Redevelopment Agency, or his designee, shall be authorized to transfer budget authority within a fund as long as the total budget authority for that fund is not exceeded.

The Marina Finance Director for the City of Marina and the Successor Agency to the Marina Redevelopment Agency may move budget authority within a department amount operating expenditures and among salary accounts but may not move budget authority from operating accounts to salary accounts.

The Marina City Manager and Executive Director of the Successor Agency to the Marina Redevelopment Agency, or his designee, shall be authorized to modify the budget(s) as follows:

- a. Transfer revenues/appropriations within General Fund department
- b. Transfer revenues/appropriations within projects/departments of any fund
- c. Transfer revenues/appropriations between/among General Fund departments
- d. Transfer revenues/appropriations between/among projects/departments of any fund

Only the City Council or the Successor Agency to the Marina Redevelopment Agency Board of Directors shall be authorized to:

- a. Increase/decrease the appropriation of any fund
- b. Transfer cash and/or appropriations from one fund to another
- c. Authorize any interfund loan of cash or other resources
- d. Authorize expenditure, transfer, or encumbrance of the fund balance of any fund

3. Authorize the Finance Director to make all necessary and budgetary accounting entries, including the temporary transfer of cash due to timing of revenue payments.

PASSED AND ADOPTED by the City Council of the City of Marina at an adjourned regular meeting duly held on the 3rd day of May 2022, by the following vote:

AYES: COUNCIL MEMBERS:

NOES: COUNCIL MEMBERS:

ABSENT: COUNCIL MEMBERS:

ABSTAIN: COUNCIL MEMBERS:

ATTEST:

Bruce C. Delgado, Mayor

Anita Sharp, Deputy City Clerk

	FY 21/22 Revised as of 5/2/22	FY 21/22 Revised w/Mid-Cycle Adjs
Revenues	27,536,794	30,332,187
Expenditures	(37,408,532)	(38,212,612)
Surplus/(Deficit)	(9,871,738)	(7,880,425)
Add back one-time transfers from:		
Land Sales Proceeds (to various CIP Projects)	6,250,000	6,250,000
Community Improvements (Landscape Architect/Arborist)	150,000	150,000
*Net FY21/22 One-time	294,000	294,000
Adj Surplus/(Deficit)	(3,177,738)	(1,186,425)
Unallocated Fund Balance (to various CIP Projects)	2,015,000	2,015,000
Water Litigation	700,000	-
Structural Surplus/(Deficit)	(462,738)	828,575
<u>Recommended Adjustments</u>		
Add/(Remove) one-time items:		
Mutual Aid	-	(517,080)
One-Time Expenses	-	804,080
<u>Structural Surplus/(Deficit)</u>	<u>(462,738)</u>	<u>1,115,575</u>
	Revision Summary	
Ongoing Revenues:		
Property Tax		785,503
Sales Tax		993,000
TOT		416,220
Cannabis Tax		125,000
General Plan Fees		(41,410)
Total Ongoing Revenues		2,278,313
One-time Revenues:		
Mutual Aid		517,080
Total One-time Revenues		517,080
One-time Expenses:		
Mutual Aid		517,080
Gen Plan Transfer		265,000
Casa de Noche Buena Contrib		22,000
Total One-time Expenses		804,080

*Resolutions 2021-122 and 2022-19 created FY 21/22 Budget Adjustments

	FY 22/23 Adopted	FY 22/23 Revised w/Mid-Cycle Adjs
Revenues	27,666,998	29,836,177
Expenditures	(28,995,314)	(30,038,314)
Surplus/(Deficit)	(1,328,316)	(202,137)
Add back one-time transfers from:		
Land Sales Proceeds (to various CIP Projects)	-	-
Community Improvements (Landscape Architect/Arborist)	150,000	150,000
*Net FY21/22 One-time		
Adj Surplus/(Deficit)	(1,178,316)	(52,137)
Unallocated Fund Balance (to various CIP Projects)	-	-
Water Litigation	700,000	-
Structural Surplus/(Deficit)	(478,316)	(52,137)
<u>Recommended Adjustments</u>		
Add/(Remove) one-time items:		
Mutual Aid	-	-
One-Time Expenses	-	360,000
<u>Structural Surplus/(Deficit)</u>	<u>(478,316)</u>	<u>307,863</u>

	Revision Summary
Ongoing Revenues:	
Property Tax	875,958
Sales Tax	908,600
TOT	301,031
Cannabis Tax	125,000
General Plan Fees	(41,410)
Total Ongoing Revenues	2,169,179
Ongoing Expenses:	
City Attorney/Legal	350,000
Liability Insurance	250,000
CalPERS Pmts	80,000
CDD Doc Scanning	3,000
Total Ongoing Expenses	683,000
One-time Expenses:	
Access Control	130,000
Shein Trust Funds	125,000
CDD Doc Scanning	53,000
PW Riding Mowers	30,000
Casa de Noche Buena Contrib	22,000
Total One-time Expenses	360,000

City Council Priority List**City Council priority list for development of Fiscal Year 2021-22 and 2022-23 Budget
based on May 18, 2021 City Council Meeting**

1. Hire staff necessary to accomplish budgeted action plans, priority lists and projects including:
 - Existing vacant positions
 - Launch working on Cypress Knolls by Feb. 2022 once General Plan consultant is on board and project is moving forward.
 - Complete Downtown Vitalization Plan by November 2021
 - Complete General Plan by 2023.
2. Plan with budget to repair identified 26 worst local streets within 3 years.
3. Plan with budget to identify:
 - At least \$2.5 million to fix Marina Sports Center/Water City
 - \$850,000 to begin upgrading Marina Equestrian Center
 - At least \$3 million to upgrade existing City parks and open space areas within 3 years, while allowing maximum safe use of parks during upgrading construction.
4. Plan with budget improvements to Community Center, Teen Center/Skate Park within 5 years.
5. Plan to open pump track by July 2022.
6. Plan to open Sea Haven Park by November 2022.
7. Plan to begin construction of Dunes City Park by February 2022 and open by February 2023.
8. Hayes Circle land swap prior to November 2021.
9. Replace all broken and missing light posts by November 2021.
10. Begin LAFCO process to Annex East Campus and East Garrison before November 2022.
11. Broadband implementation to include feasibility study and other support actions toward implementation prior to June 2022.
12. Racism study begin by February 2022. By September 1, 2021, develop RFP with task force; November 1, 2021 final RFP ready; select vendor by January 1, 2022; launch study by February 1, 2022.

CONSOLIDATED PROJECT LIST Revised April 15, 2021, 5:00 PM

CONSOLIDATED PROJECT LIST											
Name of Project											
* Priorities established on Dec. 10, 2020											
Consol Proj #	Draft Tier	Cross Ref with 3.02.21	Cross Ref with CIP	retreat	Est. cost	Funding Source	Status as of March 2, 2021	Time Frame: 0-6mths, 6-12 mths, > 1 yr	Man-datory or Urgent	Dept	Staff Re-sources
1				*Increase staff/consultant capacity for projects	1,500,000	GF/UFB	On target.	6-12 months	yes	ALL	5 hrs/wk
2				infrastructure (Present method to receive/fund infrastr. repairs from residents)	50,000	GF	On target	0-6 months	yes	PW/ADM	80 hours
3				*Improve/maintain facilities and infrastr. Incl. IT (incl IT server room air conditioning)	7,000,000	UFB	On target	> 1 yr	yes	PW	100 hours
4		4	4, 21	infrastructure, incl public outreach & park design for Pump Track & Gloria Jean-Tate Park incl restrooms.	200,000	UFB/IF	Done. Public outreach for pump track design.	0-6 months	no	PW	40 hours
5		18	7	*Secure funding for Imjin Pkwy Widening Project	19,000,000	TAMC/IF	On target. Wait for lien release one property owner	0-6	yes	PW	20 hours
6		8, 9		*Blight Removal plan incl. funding	8,500,000	BB	Done. Priority system id blighted areas; ranking system, funding & present CC with plan.		yes	PW	150 hours
7a		6		*Equestrian Park Development RFP	50,000	NPS	RPS received. Recommendation to Council by mid June.	0-6 months	yes	PW	150 hours
7b			4	Equestrian Center Development: Park Design	up to \$850,000	NPS	Work with selected concessionnaire to implement	0-6 months	no	PW/Rec/ADM	100 hours
8		33	30	*Downtown Vitalization Specific Plan	250,000	GF	On target. Target date Sept/Oct 2021	0-6 months	yes	CDD	40 hours
9		1		*Annexation CSUMB housing/landfill, East Garrison	150,000	UFB	On target to estab. Timelines. Meet with LAFCO	0-6 months	yes	ADM	40 hours
10				*Determine how to implement development of Cypress Knolls	350,000	UFB	Discussion regarding impact on General Plan priority. Waiting council direction	6-12 months	no	CDD/ADM	10 hours
11				Groundwater Sustainability Plan (GSP) Implementation	300,000	UFB, potential grants	dependent on Coastal Commission and lawsuits	>1 yr	yes	ADM/PW	100 hours
12		2		Groundwater & Aquifer protection	1,000,000 annually	GF/UFB	dependent on Coastal Commission and lawsuits	> 1 yr	yes	ADM	200 hours
13				Stockade Demolition	2,200,000	GF	almost complete	0-6 months	yes	PW	50 hours
14		32		Police Service Study	150,000	GF/UFB	will be determined in budget process	6-12 months	no	ADM/POL	100 hours
15				Increased traffic speed enforcement-Public	125,000	GF	will be determined in budget process	6-12 months	no	PD	80 hours

16			Continued fire vehicle funding plan - BD	1,500,000	UFB	will be determined in budget process	> 1 yr	yes	ADM/FIRE	20 hours
17		31	Fire Service Study	75,000	GF	almost complete. Need to review results with CC.	0-16 months	yes	ADM	20 hours
18		63	Covid-19 initiatives	4,300,000	Federal dollars	waiting for treasure dept. guidance. Process to decide how to allocate funds	6-12 months	yes	ALL	250 hours
19		64	Martin Luther King Jr. Sculpture	25,000	private	Need to present Commission recommendation to City Council	0-6 months	yes	REC/PW	20 hours
20		38	Airport Business Park Specific Plan EIR	200,000	Airport	completed		yes	CDD/ADM	
21		39	JOBY Aviation development	150,000	Airport	working with FAA on manufacturing plant approval/CEQA/NEPA	0-6 months	yes	ADM	50 hours
22		34	FORA Transition remaining tasks/issues	50,000	GF	almost completed - coordination remaining issues with County	0-6 months	yes	ADM	20 hours
23		66	Racism, Diversity & Inclusion Study	45,000	GF	need staff time allocated	0-6	yes	ALL	250 hours
24		17	Impact Fee Update	75,000	IF	need staff time allocated	0-6 months	yes	PW/ADM/FIN	50 hours
25		16	Fee Schedule- General B.D.	15,000	GF	need staff time allocated	0-6 months	yes	ALL	50 hours
26			Fee Schedule update for cannabis	15,000	GF	need staff time allocated	0-6 months	yes	ADM	20 hours
27		48	Hayes Circle Duplex Land Swap or Renovation	450,000	UFB	need staff time allocated/surplus lands act may impact	0-6 months	no	ADM	20 hours
28		65	Landfill Border Property Transfer- Obligation Impacts	75,000	UFB	need staff time allocated	0-6 months	yes	ADM	50 hours
29		58	Creating voting districts	40,000	GF	mandatory b4 summer 2022/ next milestone census results/need to get consultant hired	6-12 months	yes	ADM	100 hours
30		23	Stormwater permits NPDES	50,000	GF	ongoing		no	PW	50 hours
31			High Speed Internet- Public	30,000	GF	not started	6-12 months	no	DM	20 hours
32		24	Website improvements	35,000	GF	ongoing		no	ADM	40
33			Bi-weekly newsletter re: police work, street repairs, rec program, upcoming meetings - Public	50,000	GF			no	ALL	
34		29	City lease management	15,000	GF	need staff time allocated/ ongoing	6-12 months	no	ADM	100 hours
35		35	Cannabis Program- Dispensary establishment- BD	0	GF		> 1 yr			
36		42	Campaign finance reforms	5,000	GF	need staff time allocated	6-12 months	no	ADM,ATTY	20 hours

37		57		Marina Station Development	50,000	UFB	ongoing	0-6 months	yes	ALL	200 hours
38		5	31	Sea Haven Development incl Park	3,000,000	IF & developer	final plan needs approval by city council	0-6 months	yes	ALL	100 hours
39		7	32	Dunes City Park Development	20,000,000	IF & developer	Bight removal approved; concept plans	>1 yr	no	PW/Rec/ADM	200 hours
40		56		Dunes Phase II development Promenade	0	GF	need staff time allocation	0-6 months	yes	CDD/ADM	50 hours
41			15	Dunes Development Mitigation Study			Unsure of this project				
42			22	Dunes Barracks Stabilization & Fire Station #3	200,000	UFB	need staff time allocated	6-12 months	yes	PW	50 hours
43		62		Short-term Home rentals annual review	15,000	GF	will go to city council soon	0-6	no	ADM/CDD	20 hours
44		3		Homelessness Issues (incl. Covid related)		GF	ongoing		no	ALL	
45		54		Below Market Rate Housing Program Implementation	200,000	GF & developers	need to hire dedicated staff and consultant	0-6 months	yes	ADM	200 hours
46				Rental Registry software program- KYB	50,000	GF			no	ADM	
47		51		Inclusionary Ordinance Update	20,000	GF	need staff time allocation	> 1 yr	no	CDD	100 hours
48		53		Zoning Ordinance update	50,000	GF	need staff time allocation	> 1 yr	no	CDD	100 hours
49		37		Opportunity Zone Marketing and Development	5,000	GF	Marketing packet completed		no	ADM	
50		52	29	General Plan Update preparation	500,000	GF/UFB	need to hire a consultant	> 1 yr	yes	ALL	2,000 hours
51		43	28	Local Coastal Plan Update	85,000	GF	draft submitted to Coastal Commission	6-12 months	yes	CDD	50 hours
52		50		Housing Element update	75,000	GF	waiting completion of Downtown Vitalization Plan	0-6 months	yes	CDD/ADM	20
53				City-wide parking study - Public	150,000	UFB	need direction from city council.	0-6 months	no	CDD/ADM	100 hours
54				Sidewalk improvement (hazard reduction) program- BD	50,000	GF	needs to be budgeted	6-12 months	no	PW	50 hours
55				Safe Routes to School	1,000,000	UFB, Grants	needs to be budgeted	6-12 months	no	PW	100 hours
56			8	Gateway improvements incl entry sign	300,000	UFB	needs to be budgeted	> 1 yr	no	PW	100 hours
57		22		Street maintenance program incl. lowest rated streets	10,000,000	UFB/GF	needs to be budgeted, possible bond	> 1 yr	yes	PW/ADM/FIN	200 hours
58		21	13	8 th St between 3 rd & 5 th Ave Design	150,000	IF, CFD fee	working with Dunes developer	0-6 months	yes	PW	100 hours
59		19		Del Monte at Reservation Rd. redesign/improvements	400,000	CFD fee	preliminary design completed. Reviewing impact on endangered species	0-6 months	no	PW	100 hours

60	19	10	Del Monte/ 2nd Ave Connection Design	8,000,000	CFD fee	preliminary design completed. Reviewing impact on endangered species	0-6 months	no	CDD/PW	100 hours
61		11	Del Monte Median Landscape Demo	50,000	GF	funded CIP, need staff time allocation	6-12 months	no	PW	100 hours
62		5	Reservation Rd Median & Streetlight Outlets	50,000	GF	needs to be budgeted	0-6 months	no	PW	50 hours
63		6	Reservation Rd 2 Roundabouts at Cordoza & Beach	2,000,000	IF/TAMC grant	needs to be budgeted	> 1 yr	no	PW	100 hours
64	20	14	Salinas Ave Widening Design	50,000	CFD fee	almost completed - coordination remaining issues with County	0-6 months	no	PW	50 hours
65		20	California Ave. pedestrian crossing	50,000	IF	consultant working on project	0-6 months	yes	PW	100 hours
66	14		Sports/Recreation Roller Hockey Feasibility Study 2nd Draft	50,000	IF	consultant working on updating project study	0-6 months	no	ADM/REC/PW	50 hours
67	14	19	Sports/Recreation Roller Hockey Center Rehab & Improvements	3,500,000	UFB/BB/IF	waiting completion of feasibility study	> 1 yr	no	PW/REC/ADM	300 hours
68	49		Stabilization of Useful Buildings	400,000	UFB/BB	need staff time allocation	6-12 months	yes	PW	100 hours
69		2	Annual street resurfacing	2,600,000	GF	ongoing - may need more fundings		yes		
70	46		Preston/Abrams Parking Mngmt Plan Dev	15,000	AP/PP	need staff time allocation	6-12 months	no	ADM	100 hours
71	45		Preston/Abrams Regulatory Agreements update	0	AP/PP	COMPLETED		no	ADM	
72	47		(FHA loan)	10,000,000	AP/PP	on target for 2026 new bond		yes	ADM	20 hours
73		35	Preston Park- Park planning	150,000	UFB/IF	need to hire consultant and staff time	6-12 months	no	ADM/PW/RE	200 hours
74			Walmart dirt lot development- BD	50,000	UFB			no	CDD	
75			3006 Del Monte Property - BD		GF			no	ADM	
76	36	23	Arts Village Development (stabilization)	1,200,000	BB	funding allocated, need staff time	6-12 months	yes	ADM/PW	200 hours
77	13		Aquatic Center- Estab. Bond committee	50,000	UFB/IF	needs staff time allocation	6-12 months	no	ADM/PW/RE	100 hours
78		12	Pool Rehabilitation	8,000,000	UFB/IF/ BOND	needs funding source	> 1 yr	no	ADM/PW/RE	200 hours
79	12		Improve Youth/Srs/Family Program Dev./Seek partners	200,000	GF	needs staff time allocation	6-12 months	no	REC	100 hours
80	41		Special/cultural events	50,000	GF	needs staff time allocation	6-12 months	no	REC	100 hours
81	28		Recreation online programs	40,000	GF	ongoing		no	REC	50 hours
82	15		Senior Center (Plan, site, construction, staffing)	3,000,000	UFB/IF	waiting council direction		no	PW/REC	250 hours
83			Civic center funding plan	75,000	UFB	need cost estimate	> 1 yr	no	ADM/PW	100 hours
84	25		Council Chamber Improvements incl. ADA, Covid	400,000	UFB			no		
85	27	9	City Hall/Annex Center Reconfiguration	5,000,000	UFB	on hold pending funding	6-12 months	yes	PW/ADM	100 hours

86			17	City Council Chamber Media Broadcast Upgrade	1,000,000	UFB	on hold pending funding	6-12 months	yes	PW/ADM	100 hours
87			18	Vince DiMaggio Blg rain gutter replacement	5,000	GF	needs to be budgeted	0-6 months	no	PW	20 hours
88			16	Old Corp yard Entry Gate Automation-Public	25,000	GF	needs to be budgeted	0-6 months	no	PW	20 hours
89	30			Greenwaste Recovery Cost-based Rate Adjustment	30,000	GF			no	PW	
90	44			Organic Waste Ordinance	75,000	GF			no	PW	
91			24	Retention Basin Annual Water Monitoring	30,000	GF			no	PW	
92	67			Habitat Conservation & Habitat Management Program	150,000	CFD fee	consultant hired to complete plan	6-12 months	yes	ADM	100 hours
93				Locke Paddon Lake Vegetation Management/Removal- BD	25,000	GF	needs to be budgeted	0-6 months	no	PW/CDD	25 hours
94				Locke Locke Paddon park: Rebuild floating walkway- Public	1,000,000	UFB/IF	needs to be budgeted		no	PW/ADM	100 hours
95				Widen, plant trees along Del Monte recreation trail- Public	1,000,000	UFB			no	PW	
96				Tree study maintenance removal program- Public	50,000	GF			no	CDD	
97				Climate change action plan - Public	150,000	UFB			no	CDD/ADM	
98				FORTAG Routes		UFB/TAMC			no	PW	
99				Park Maintenance Plan & funding allocation plan- Public	100,000 (annually)	GF			no	PW	50 hours
100			34	Parks deferred maintenance	5,000,000	UFB			yes	PW	250 hours
101				City Lights Program & funding allocation plan - Public	500,000	UFB			no	PW	50 hours
102			26	Street light replacement	200,000	GF/UFB			no	PW	50 hours
103			27	Traffic Signal Maintenance & Upgrades	200,000	GF/UFB			no	PW	50 hours
104				Facilities Management Program for all existing city owned structures & funding allocation plan - Public	5,500,000	UFB			yes	ADM/PW	100 hours
105				Care Bag initiative for foster children by Marina H.S. Students	0	UFB	student project	0-6 months	no	ADM	10 hours
106				Holiday Light Display with City Holiday Tree Lighting event (Marina H.S. students)	0	UFB	student project	0-6 months	no	ADM/PW/RE	25 hours
107				Teen Center Improvement: Upgrade skate park, add volleyball (Marina H.S. students).	50,000	UFB	student project	0-6 months	no	REC/PW	40 hours

LEGEND

Honorable Mayor and Members
of the Marina City Council

City Council Meeting
of May 3, 2022

**CITY COUNCIL TO CONSIDER ADOPTING RESOLUTION NO. 2022-,
RECEIVING A REPORT ON THE HILLTOP PARK RECOMMENDATIONS
FROM THE AD-HOC COMMITTEE AND CITY COUNCIL APPOINTED AD-
HOC COMMITTEE LIAISONS AND PROVIDING DIRECTION FOR THE
FINAL DESIGN OF THE HILLTOP PARK AT THE DUNES**

REQUEST: It is requested that the City Council consider:

1. adopting Resolution No. 2022-, receiving a report on the Hilltop Park recommendations from the ad-hoc committee and City Council appointed liaisons and providing direction for the final design of the Hilltop Park at The Dunes.

BACKGROUND:

At the regular meeting of May 19, 2020, the City Council adopted Resolution No. 2020-53, approving the amendment to the University Village (now The Dunes on Monterey Bay) Phase 2 Tentative Map. The amendment included conceptual layouts of the City Park within Phase 2 known as Hilltop Park.

The Dunes Specific Plan Community Design Strategy for the Park System Design Concept of Hilltop Park is defined as follows:

This site has significant topography which yields beautiful panoramas from the top of the plateau. This Park is proposed to be a passive park with an emphasis on native planting, dunes, sheltered overlooks and seating areas, picnic and barbecue facilities, and a dog park. Trails should follow the site contours to provide access from Eighth and Ninth streets.

City Council received a presentation and approved the conceptual plan (**EXHIBIT A**) for the Hilltop Park on April 20th, 2021, by adopting Resolution 2021-36 with the exception of vegetation for the park. As part of the resolution, City Council directed the formation of an ad hoc committee to develop recommendations specific to “trees, grasses, forbs and shrubs, which is all plant material to be incorporated in the development of the Hilltop Park at The Dunes.”

The Ad Hoc Committee consisting of representatives of the City Council (Mayor Bruce Delgado), Recreation and Cultural Services Commission (Chair Darlena Ridler, Commissioner Jeff Uchida), Public Works Commission (Commissioner Mike Owen), Tree Committee (Committee Member Greg Simmons), Marina Tree and Garden Club (Juli Hoffman and Grace Silva-Santella), Citizens for Sustainable Marina (Karen Anderson), along with Dr. Fred Watson met on May 26th, 2021. The ad hoc committee received a presentation from the Dunes landscape design team deliberated and provided the following recommendations to City Council:

- 1) Engage consultants with experience using Fort Ord natives for restoration and incorporate their recommendations in the plans.
- 2) The plans should include more information about site challenges with a focus on hydroseed application and keeping existing native vegetation currently remaining.
- 3) Update the plan to show current (May 2021) vegetation.
- 4) Describe in the landscaping plan how on-site (e.g., Fort Ord) stock and which species will be used.
- 5) Use a native plant emphasis, but not necessarily 100% coverage of natives across the site. Planting plans should show the long-term vegetation vision of the Hilltop Park.

- 6) Show on the plans which type of planting (e.g., for native restoration) will go in the various areas of Hilltop Park.
- 7) Use I-naturalist and David Styer's Flora of Fort Ord as references to select local natives for landscaping.
- 8) Include a more specific plant list using local native plants.
- 9) Bring the next version of proposed plant list back to ad-hoc committee.
- 10) Enhance dog park using oaks instead of cypress trees.
- 11) Include approximately 17 cypress trees where wind barriers are needed such as west of dog park.
- 12) Consider oak placement on west face of Hilltop Park in protected areas.
- 13) Consider placing the 8ft wide path from 9th Street to the top of the park to retain as much existing native vegetation as possible.
- 14) Begin seed collections in 2021 as soon as possible for species in all seral stages (e.g. pioneers, and mid and late-seral stages).

The City Council adopted Resolution 2021-73 at the June 15th, 2021 meeting. The resolution approved the recommendations of the ad-hoc committee except for #9 “Bring back the next version of the proposed plant list back to the ad-hoc committee.” In lieu of #9, City Council appointed Mayor Delgado and Dr. Fred Watson to serve as liaisons between the developer and ad-hoc committee as the plant lists were being prepared by the developer’s landscape architect.

Dr. Fred Watson has prepared a web page with information on the history of Hilltop Park and recent plant surveys which can be accessed at the following link:

<http://www.cccal.info/proj/usa/ca/cc/FortOrd/HilltopPark/index.htm>

ANALYSIS:

The liaisons met with staff and the development team on September 24, 2021. The developer’s landscape architect presented the preliminary planting list and a map identifying areas of the park for the various types of planting. The liaisons provided input to the development team.

The liaisons met with staff and the development team on December 3, 2021. The developer’s landscape architect presented the revised planting list and clarified the approach for hydroseeding graded areas of the park. The liaisons provided input to the development team.

The liaisons provided a progress report to the ad-hoc committee on December 16, 2021. The planting lists and map identifying areas of the park for the various types of planting were presented. The members of the ad-hoc committee provided recommendations for changes to be incorporated into the planting lists and planting areas.

In January of 2022, Dr. Fred Watson provided a map showing the location of existing plants on hilltop park by species (**EXHIBIT B**). This map informed a recommendation to reroute the proposed trail access from 9th Street to the hilltop viewing area using switchbacks to avoid existing native plants to be preserved. This was done to fulfill City Council adopted requirement # 13 “Consider placing the 8ft wide path from 9th Street to the top of the park to retain as much existing native vegetation as possible.”

The liaisons met with staff and the development team on April 4, 2022. The developer’s team presented a feasible alignment of the trail from 9th Street to the hilltop viewing area using switchbacks. Planting establishment criteria to be incorporated into the project plans and specifications was presented along with revisions to planting lists.

The liaisons provided a progress report to the ad-hoc committee on April 21, 2022. The developer's landscape architect presented the revised planting lists, the realignment of trail access to the hilltop, and the revised plant establishment criteria. The ad-hoc committee provided direction on the removal of invasive species of plants, the planting lists, plant establishment criteria, locations for planting of oak trees identified as mitigation for unpermitted removal of trees, and maintenance transition from the developer to City staff.

The change to the City Council approved Hilltop Park concept plan showing the alignment of the trail from 9th Street to the hilltop viewing area using switchbacks is attached as **EXHIBIT C**. Also shown on the exhibit are the plant removal specifications, areas of different planting within the park, and the planting lists pertaining to each area. The plant establishment criteria to be incorporated in the project plans and specifications are attached as **EXHIBIT D**.

As construction documents are prepared, the developer's landscape architect will plan for the replacement of some of the trees removed from the park area and other areas of The Dunes Phase 2 East without a permit. Oak trees will be appropriately spaced on the lower west slope of the hill, west of the dog park and along the eastern finger of the park along 8th Street. Oak trees on the eastern finger will be placed to avoid the future 8th Street right-of-way and the PG&E gas line.

The developer will maintain the installed landscaping for a period of two years in accordance with the establishment criteria (**EXHIBIT D**). The Citizens for Sustainable Marina (CS4M) have been collecting native plant seeds and growing replacement plants for Area 3 shown on sheet L-1.1 of **EXHIBIT C**. This is the area of native habitat to be maintained with supplemental planting of natives. The developer will continue to work with CS4M to begin a series of plantings during appropriate seasons over the course of the establishment period.

Exhibit C and **Exhibit D** will serve as the basis for development of detailed plans and specifications which will serve as the construction documents and will serve as the conditions of approval that staff will use when reviewing the construction documents.

FISCAL IMPACT:

MCP will fully fund construction of Hilltop Park once the designs are approved by the City. Per Conditions #11 and #20 of the Tentative Map Conditions of Approval, Hilltop Park will then be owned and maintained by the City.

CONCLUSION:

This request is submitted for City Council consideration.

Brian McMinn, P.E., P.L.S.
Public Works Director/City Engineer
City of Marina

REVIEWED/CONCUR:

Layne P. Long
City Manager
City of Marina

RESOLUTION NO. 2022-

A RESOLUTION BY THE CITY COUNCIL OF THE CITY OF MARINA
RECEIVING A REPORT ON THE HILLTOP PARK
RECOMMENDATIONS FROM THE AD-HOC COMMITTEE AND CITY
COUNCIL APPOINTED AD- HOC COMMITTEE LIAISONS AND
PROVIDING DIRECTION FOR THE FINAL DESIGN OF THE HILLTOP
PARK AT THE DUNES

WHEREAS, at the regular meeting of May 19, 2020, the City Council adopted Resolution No. 2020-53, approving the amendment to the University Village (now The Dunes on Monterey Bay) Phase 2 Tentative Map. The amendment included conceptual layouts of the City Park within Phase 2 known as Hilltop Park, and;

WHEREAS, the City Council received a presentation and approved the conceptual plan for the Hilltop Park (**Exhibit A**) on April 20th, 2021 by adopting Resolution 2021-36 with the exception of vegetation for the park. As part of the resolution, City Council directed the formation of an ad hoc committee to develop recommendations specific to “trees, grasses, forbs and shrubs, which is all plant material to be incorporated in the development of the Hilltop Park at The Dunes”, and;

WHEREAS, the preliminary park plan will serve as a basis for final park design. Final design will move forward once Council input has been considered and addressed. All the improvements at this park location will be fully funded by Marina Community Partners (MCP). The basic programming and elements of the parks will remain as close as possible to what was approved by the amended tentative map and Specific Plan, and;

WHEREAS, the Ad Hoc Committee consisting of representatives of the City Council (Mayor Bruce Delgado), Recreation and Cultural Services Commission (Chair Darlena Ridler, Commissioner Jeff Uchida), Public Works Commission (Commissioner Mike Owen), Tree Committee (Committee Member Greg Simmons), Marina Tree and Garden Club (Juli Hoffman and Grace Silva-Santella), Citizens for Sustainable Marina (Karen Anderson), along with Dr. Fred Watson met on May 26th, 2021, and;

WHEREAS, the ad hoc committee received a presentation from the Dunes landscape design team deliberated and provided the following recommendations to City Council:

- 1) Engage consultants with experience using Fort Ord natives for restoration and incorporate their recommendations in the plans.
- 2) The plans should include more information about site challenges with a focus on hydroseed application and keeping existing native vegetation currently remaining.
- 3) Update the plan to show current (May 2021) vegetation.
- 4) Describe in the landscaping plan how on-site (e.g., Fort Ord) stock and which species will be used.
- 5) Use a native plant emphasis, but not necessarily 100% coverage of natives across the site. Planting plans should show the long-term vegetation vision of the Hilltop Park.
- 6) Show on the plans which type of planting (e.g., for native restoration) will go in the various areas of Hilltop Park.
- 7) Use I-naturalist and David Styer's Flora of Fort Ord as references to select local natives for landscaping.
- 8) Include a more specific plant list using local native plants.
- 9) Bring the next version of proposed plant list back to ad-hoc committee.
- 10) Enhance dog park using oaks instead of cypress trees.

- 11) Include approximately 17 cypress trees where wind barriers are needed such as west of dog park.
- 12) Consider oak placement on west face of Hilltop Park in protected areas.
- 13) Consider placing the 8ft wide path from 9th Street to the top of the park to retain as much existing native vegetation as possible.
- 14) Begin seed collections in 2021 as soon as possible for species in all seral stages (e.g. pioneers, and mid and late-seral stages).

WHEREAS, the City Council adopted Resolution 2021-73 at the June 15th, 2021 meeting. The resolution approved the recommendations of the ad-hoc committee except for #9 “Bring back the next version of the proposed plant list back to the ad-hoc committee.” In lieu of #9, City Council appointed Mayor Delgado and Dr. Fred Watson to serve as liaisons between the developer and ad-hoc committee as the plant lists were being prepared by the developer’s landscape architect, and;

WHEREAS, the liaisons met with staff and the development team on September 24, 2021. The developer’s landscape architect presented the preliminary planting list and a map identifying areas of the park for the various types of planting. The liaisons provided input to the development team, and;

WHEREAS, the liaisons met with staff and the development team on December 3, 2021. The developer’s landscape architect presented the revised planting list and clarified the approach for hydroseeding graded areas of the park. The liaisons provided input to the development team, and;

WHEREAS, the liaisons provided a progress report to the ad-hoc committee on December 16, 2021. The planting lists and map identifying areas of the park for the various types of planting were presented. The members of the ad-hoc committee provided recommendations for changes to be incorporated into the planting lists and planting areas, and;

WHEREAS, in January of 2022, Dr. Fred Watson provided a map showing the location of existing plants on hilltop park by species (**Exhibit B**). This map informed a recommendation to reroute the proposed trail access from 9th Street to the hilltop viewing area using switchbacks to avoid existing native plants to be preserved. This was done to fulfill City Council adopted requirement # 13 “Consider placing the 8ft wide path from 9th Street to the top of the park to retain as much existing native vegetation as possible,” and ;

WHEREAS, the liaisons met with staff and the development team on April 4, 2022. The developer’s team presented a feasible alignment of the trail from 9th Street to the hilltop viewing area using switchbacks. Planting establishment criteria to be incorporated into the project plans and specifications was presented along with revisions to planting lists, and;

WHEREAS, the liaisons provided a progress report to the ad-hoc committee on April 21, 2022. The developer’s landscape architect presented the revised planting lists, the realignment of trail access to the hilltop, and the revised plant establishment criteria. The ad-hoc committee provided direction on the removal of invasive species of plants, the planting lists, plant establishment criteria, locations for planting of oak trees identified as mitigation for unpermitted removal of trees, and maintenance transition from the developer to City staff, and;

WHEREAS, the change to the City Council approved Hilltop Park concept plan showing the alignment of the trail from 9th Street to the hilltop viewing area using switchbacks is attached as **Exhibit C**. Also shown on the exhibit are the plant removal specifications, areas of different planting within the park, and the planting lists pertaining to each area. The plant establishment criteria to be incorporated in the project plans and specifications are attached as **Exhibit D**, and;

WHEREAS, the developer will maintain the installed landscaping for a period of two years in accordance with the establishment criteria (**Exhibit D**). The Citizens for Sustainable Marina (CS4M) have been collecting native plant seeds and growing replacement plants for Area 3 shown on sheet L-1.1 of **Exhibit C**. This is the area of native habitat to be maintained with supplemental planting of natives. The developer will continue to work with CS4M to begin a series of plantings during appropriate seasons over the course of the establishment period, and;

WHEREAS, MCP will fully fund construction of the Park once the designs are approved by the City. Per Conditions #11 and #20 of the Tentative Map Conditions of Approval, Hilltop Park will then be owned and maintained by the City.

NOW, THEREFORE BE IT RESOLVED by the City Council of the City of Marina that does hereby receive a report on the Hilltop Park ad-hoc committee recommendations and provides direction on the final design of the Hilltop Park at The Dunes.

PASSED AND ADOPTED by the City Council of the City of Marina at a regular meeting duly held on the 3rd day of May 2022, by the following vote:

AYES: COUNCILMEMBERS:

NOES: COUNCIL MEMBERS:

ABSTAIN: COUNCIL MEMBERS:

ABSENT: COUNCIL MEMBERS:

ATTEST:

Bruce C. Delgado, Mayor

Anita Sharp, Deputy City Clerk

COASTAL SAGE SCRUB -
SLOPE RESTORATION MIX

LBS/AC	PLANT
1.5	ACMISPON GLABER (DEERWEED) (CN)
2.0	ARTEMISIA CALIFORNICA (CALIFORNIA SAGEBRUSH) (CN)
4.0	ELYMUS GLAUCUS (COASTAL BLUE WILDRYE) (CN)
8.0	ERIOGONUM LATIFOLIUM (COAST BUCKWHEAT) (CN)
1.5	ERIOPHYLLUM CONFERTIFLORUM (GOLDEN YARROW) (CN)
2.0	ESCHSCHOLZIA CALIFORNICA VAR. MARITIMA (COAST CALIFORNIA POPPY) (CN)
6.0	FESTUCA MICROSTACHYS (SMALL FESCUE) (CN)
8.0	FESTUCA RUBRA 'MOLATE' (NATIVE RED FESCUE) (CN)
1.0	LASTHENIA CALIFORNICA (DWARF GOLDFIELDS) (CN)
3.0	LUPINUS SUCCULENTUS (ARROYO LUPINE) (CN)
4.0	MIMULUS AURANTIACUS (STICKY MONKEYFLOWER - ORANGE) (CN)
2.0	SALVIA MELLIFERA (BLACK SAGE) (CN)
2.0	SISYRINCHIUM BELLUM (BLUE-EYED GRASS) (CN)
6.0	STIPA PULCHRA (PURPLE NEEDLEGRASS) (CN)

SEEDING RATE: 51 LBS PER ACRE
HEIGHT RANGE: 12-54 INCHES
(CN) - CALIFORNIA NATIVE

COASTAL SAGE SCRUB -
BLUFF AREA HYDROSEED MIX

LBS/AC	PLANT
2.5	ABRONIA LATIFOLIA (COASTAL SAND VERBENA) (CN)
1.0	ACMISPON AMERICANUS (PURSHING LOTUS) (CN)
1.0	CAMISSONOPSIS CHEIRANTHIFOLIA (BEACH EVENING PRIMROSE) (CN)
2.0	COLLIINSIA HETEROPHYLLA (CHINESE HOUSES) (CN)
4.0	DESCHAMPSIA CESPITOSA HOLCIFORMIS (COASTAL HAIRGRASS) (CN)
2.5	ESCHSCHOLZIA CALIFORNICA VAR. MARITIMA (COAST CALIFORNIA POPPY) (CN)
6.0	FESTUCA MICROSTACHYS (SMALL FESCUE) (CN)
10.0	FESTUCA RUBRA 'MOLATE' (NATIVE RED FESCUE) (CN)
1.0	LASTHENIA CALIFORNICA (DWARF GOLDFIELDS) (CN)
4.0	LUPINUS NANUS (SKY LUPINE) (CN)
6.0	KOELERIA MACRANTHA (JUNEGRASS) (CN)
2.5	MELICA IMPERFECTA (COASTAL ONION GRASS) (CN)
2.0	SISYRINCHIUM BELLUM (BLUE-EYED GRASS) (CN)
6.0	STIPA PULCHRA (PURPLE NEEDLEGRASS) (CN)

SEEDING RATE: 51 LBS PER ACRE
HEIGHT RANGE: 10-18 INCHES
(CN) - CALIFORNIA NATIVE

PROPOSED
RESTORATION
PLANTING

(DISTURBED AREAS)

BLUFF AREA HYDROSEED

COASTAL SAGE SCRUB MIX BY PACIFIC COAST SEED. DESIGNED AS A NON-IRRIGATED MIX. HEIGHT RANGE: 10-18 INCHES. SEE BLUFF AREA HYDROSEED MIX DESCRIPTION, THIS SHEET.

SLOPE RESTORATION PLANTING

COASTAL SAGE SCRUB MIX BY PACIFIC COAST SEED. NATIVE HYDROSEEDED GRASS, FLOWER AND SHRUB RESTORATION MIX WITH MULCH TACKIFIER AND SOIL STABILIZER. DESIGNED AS A NON-IRRIGATED MIX. HEIGHT RANGE: 12-54 INCHES. SEE SLOPE RESTORATION MIX DESCRIPTION, THIS SHEET.

RESTORATION SPECIFICATION AND MAINTENANCE PLAN TO BE INCLUDED WITH CONSTRUCTION DOCUMENTS



EXISTING TREE CANOPY



VIEW 1



VIEW 2



VIEW 3



VIEW 4



HILLTOP PARK VIEW



COMPOSITE BENCH SEATING



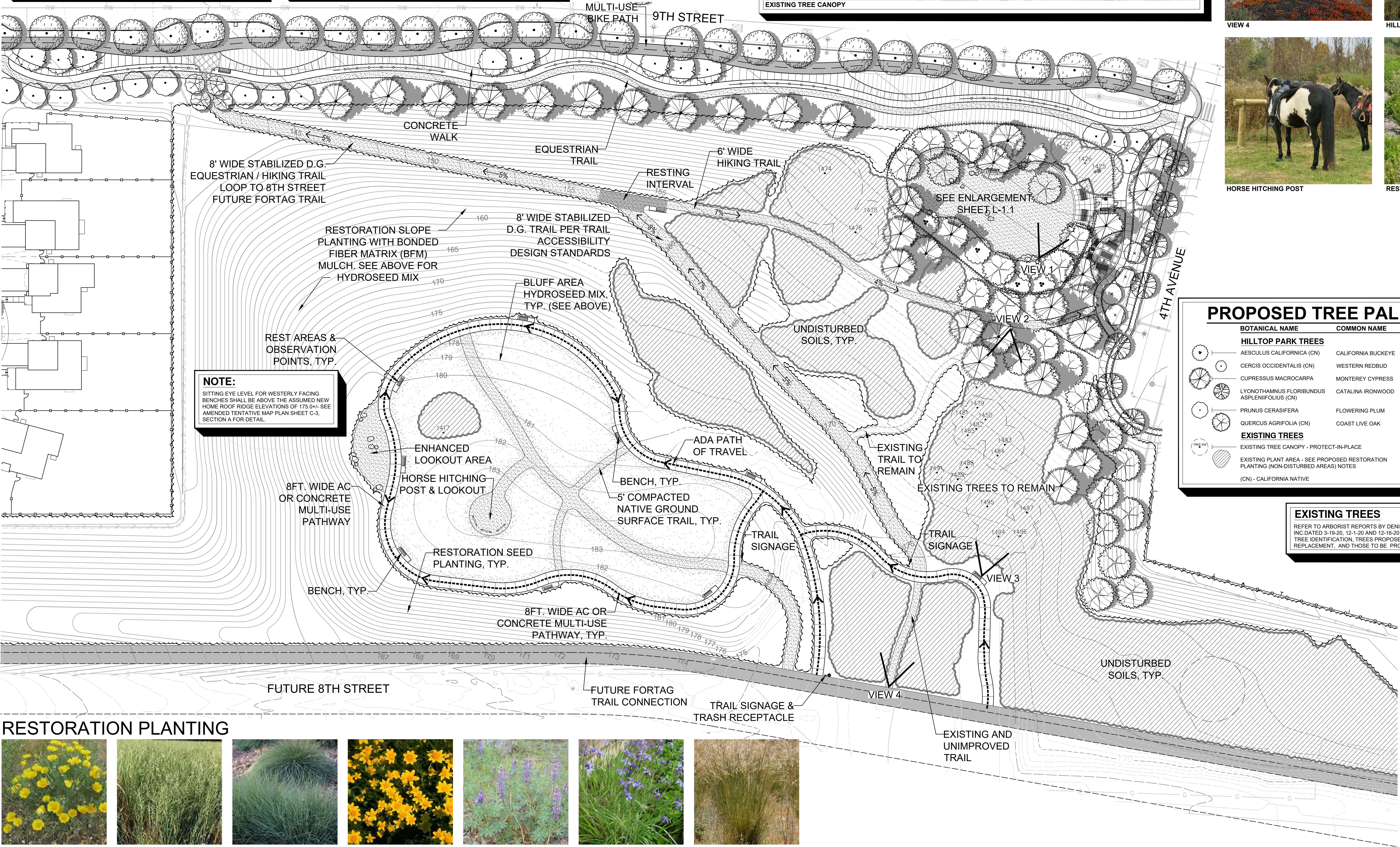
HORSE HITCHING POST



RESTORATION SLOPE PLANTING



BLUFF NATIVE GRASS



PROPOSED TREE PALETTE

BOTANICAL NAME	COMMON NAME	WUCOLS	MIN. SIZE
HILLTOP PARK TREES			
AESCLULUS CALIFORNICA (CN)	CALIFORNIA BUCKEYE	V. LOW	15 GAL.
CERCIS OCCIDENTALIS (CN)	WESTERN REDBUD	V. LOW	24" BOX
CUPRESSUS MACROCARPA	MONTEREY CYPRESS	MOD.	15 GAL.
LYONOTHAMNUS FLORIBUNDUS ASPLENIIFOLIUS (CN)	CATALINA IRONWOOD	LOW	15 GAL.
PRUNUS CERASIFERA	FLOWERING PLUM	LOW	15 GAL.
QUERCUS AGRIFOLIA	COAST LIVE OAK	V. LOW	15 GAL.
EXISTING TREES			
EXISTING TREE CANOPY - PROTECT-IN-PLACE			
EXISTING PLANT AREA - SEE PROPOSED RESTORATION PLANTING (NON-DISTURBED AREAS) NOTES			
(CN) - CALIFORNIA NATIVE			

EXISTING TREES

REFER TO ARBORIST REPORTS BY DENISE DUFFY & ASSOCIATES, INC. DATED 3-19-20, 12-1-20 AND 12-16-20 FOR EXISTING PARK TREE IDENTIFICATION, TREES PROPOSED FOR REMOVAL & REPLACEMENT, AND THOSE TO BE PROTECTED IN PLACE.

PROPOSED
RESTORATION
PLANTING
(NON-DISTURBED AREAS)

A PROPOSED LONG-TERM MAINTENANCE, RESTORATION & INVASIVE SPECIES REMOVAL IS RECOMMENDED FOR THE REMAINDER OF THE PARK IN ALL UNDISTURBED AREAS.

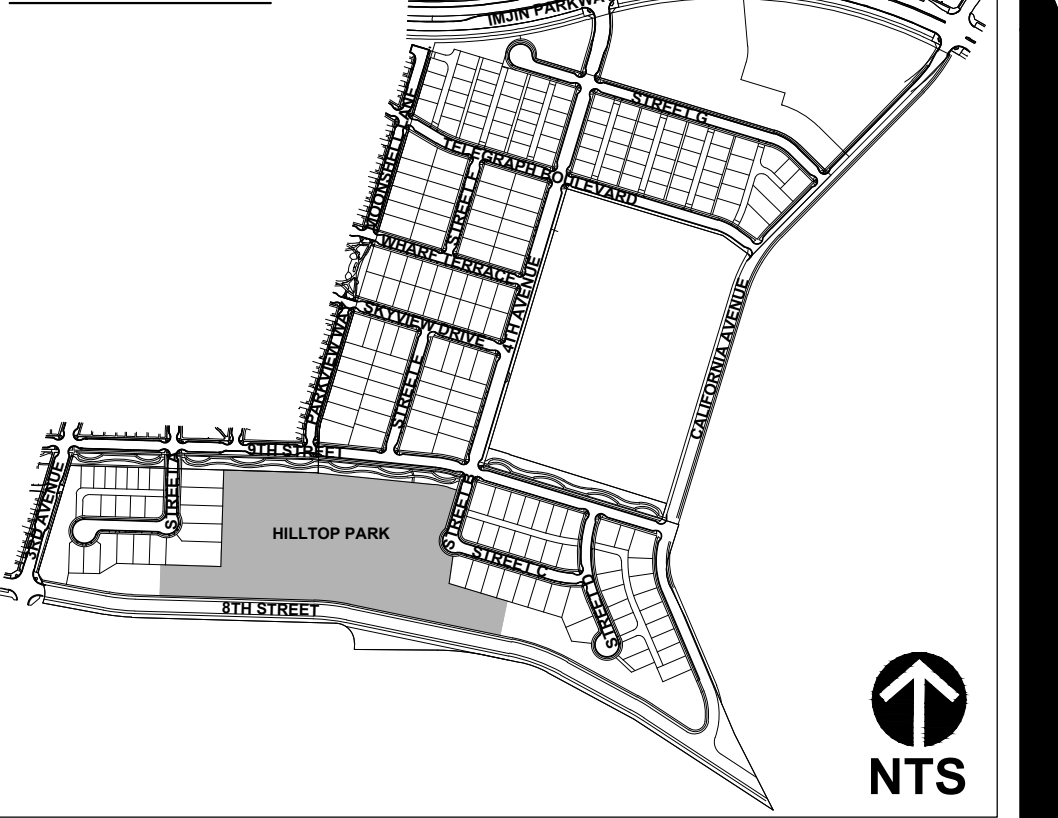
INVASIVE SPECIES REMOVAL AND RESTORATION PLANTING SHALL BE PHASED AS TO NOT DISTURB ANY ESTABLISHED POCKETS OF IDENTIFIED RELIC NATIVE PLANT COMMUNITIES WITHIN THE PARK.

PHASED LONG TERM MAINTENANCE, EDUCATIONAL INFORMATION, PLANT IDENTIFICATION AND NATIVE PLANT RESTORATION SHALL BE PROVIDED FOR AND IMPLEMENTED BY THE PARKS DEPARTMENT.

CALIPC® RATED® INVASIVE SPECIES OBSERVED BY FRED WATSON, PHD & RATED PER CALIPC.

ACACIA SPP. (LONGIFOLIA) - SYDNEY GOLDEN WATTLE
PARASEBIANTHES LOPHANTHA - STINK BEAN
LEPTOSPERMUM LAEVIGATUM - AUSTRALIAN TEA TREE
GENISTA SPP. - BROOM
CORTADERIA SPP. - JUBATA GRASS OR PAMPAS GRASS
CARPOBROTUS SPP. - ICE PLANT

KEY MAP



RESTORATION PLANTING



City of Marina

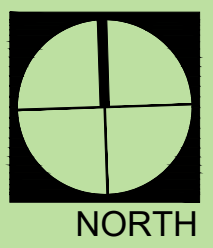
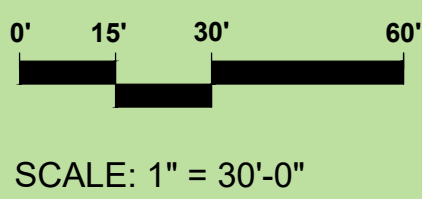
211 HILLCREST AVENUE
MARINA, CALIFORNIA 93933
(831) 884-1278

DUNES PHASE 2 EAST

Marina, California

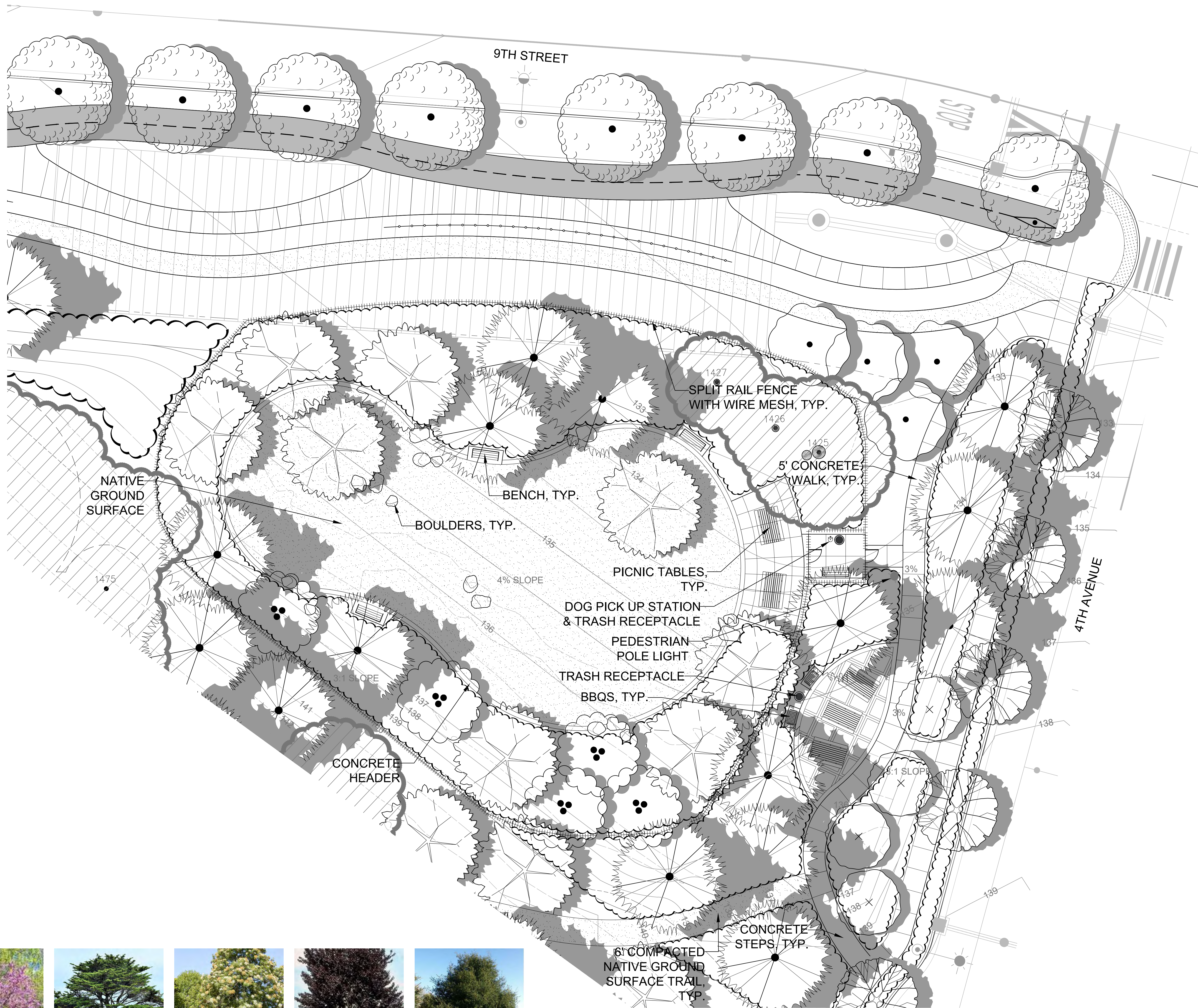
HILLTOP PARK
CONCEPTUAL LANDSCAPE PLAN
MARCH 8, 2021

vanderToolen Associates
855 Bordeaux Way
Suite 240
Napa, CA 94558
tel: 707.224.2299
www.vandertoole.com



L-1.0

Project No. 02820



DOG PARK CONCEPT



DOG PARK CONCEPT



DOG PARK CONCEPT



DOG PARK CONCEPT



SPLIT RAIL FENCE AND GATE WITH WIRE MESH



COMPOSITE PICNIC TABLES



DOG PICK UP STATION



COMPOSITE BENCH SEATING

PROPOSED TREE PALETTE

BOTANICAL NAME	COMMON NAME	WUCOLS	MIN. SIZE
HILLTOP PARK TREES			
AESCULUS CALIFORNICA (CN)	CALIFORNIA BUCKEY	V. LOW	15 GAL
CERCIS OCCIDENTALIS (CN)	WESTERN REDBUD	V. LOW	24" BOX
CUPRESSUS MACROCARPA	MONTEREY CYPRESS	MOD.	15 GAL
LYONOTHAMNUS FLORIBUNDUS ASPLENIFOLIUS (CN)	CATALINA IRONWOOD	LOW	15 GAL
PRUNUS CERASIFERA	FLOWERING PLUM	LOW	15 GAL
QUERCUS AGRIFOLIA (CN)	COAST LIVE OAK	V. LOW	15 GAL
EXISTING TREES			
EXISTING TREE CANOPY - PROTECT-IN-PLACE			
EXISTING PLANT AREA - SEE PROPOSED RESTORATION PLANTING (NON-DISTURBED AREAS) NOTES			
(CN) - CALIFORNIA NATIVE			

TREES



AESCULUS CALIFORNICA (CN)



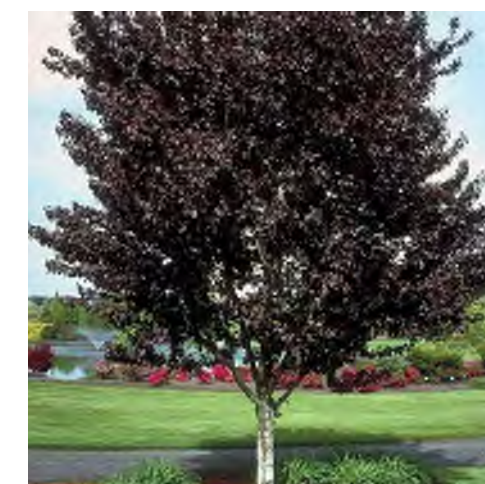
CERCIS OCCIDENTALIS (CN)



CUPRESSUS MACROCARPA



LYONOTHAMNUS FLORIBUNDUS ASPLENIFOLIUS (CN)



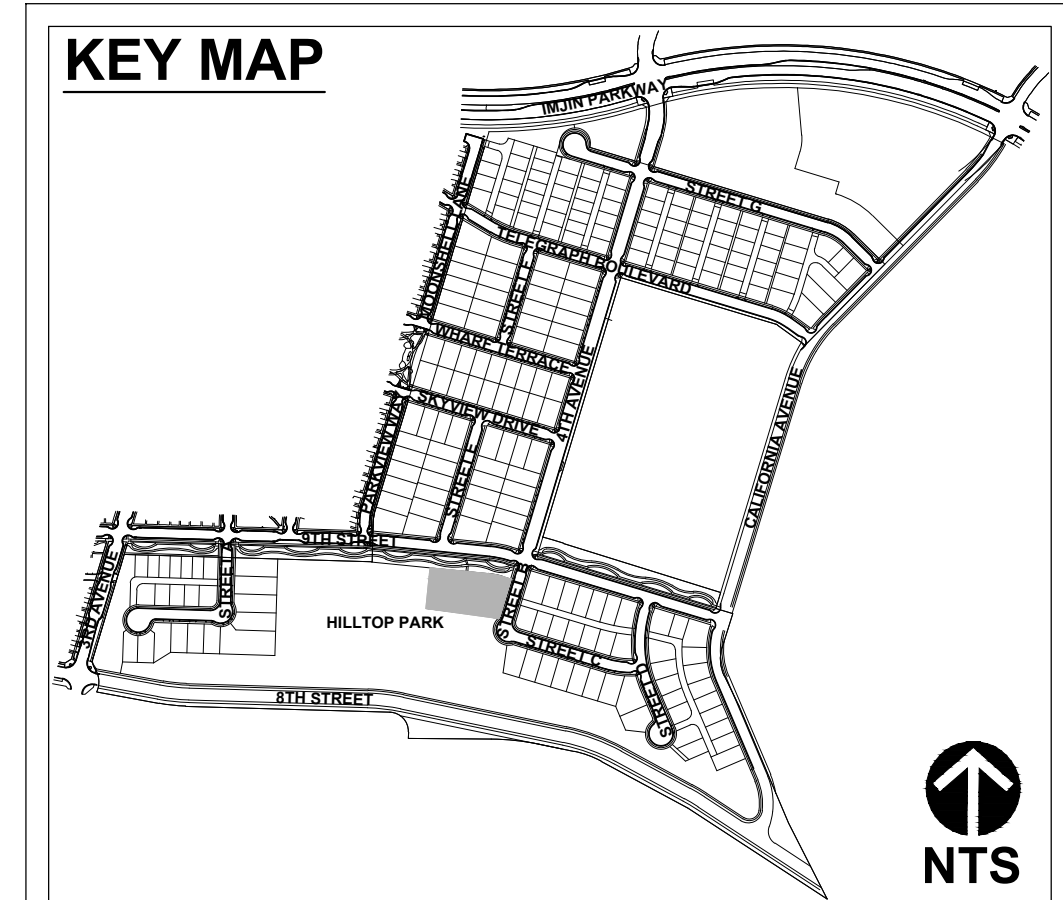
PRUNUS CERASIFERA



QUERCUS AGRIFOLIA (CN)

DOG PARK AREA

14,553 SF (0.33 ACRES) FENCE ENCLOSED AREA



City of Marina

211 HILLCREST AVENUE
MARINA, CALIFORNIA 93933
(831) 884-1278

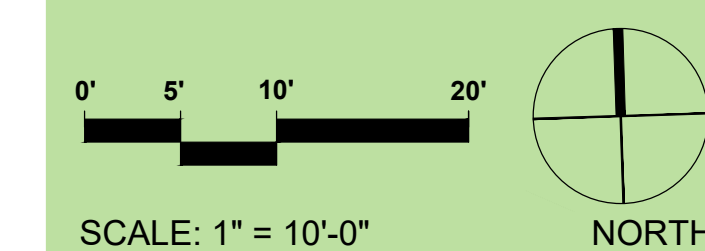
DUNES PHASE 2 EAST

Marina, California

HILLTOP PARK ENLARGEMENT

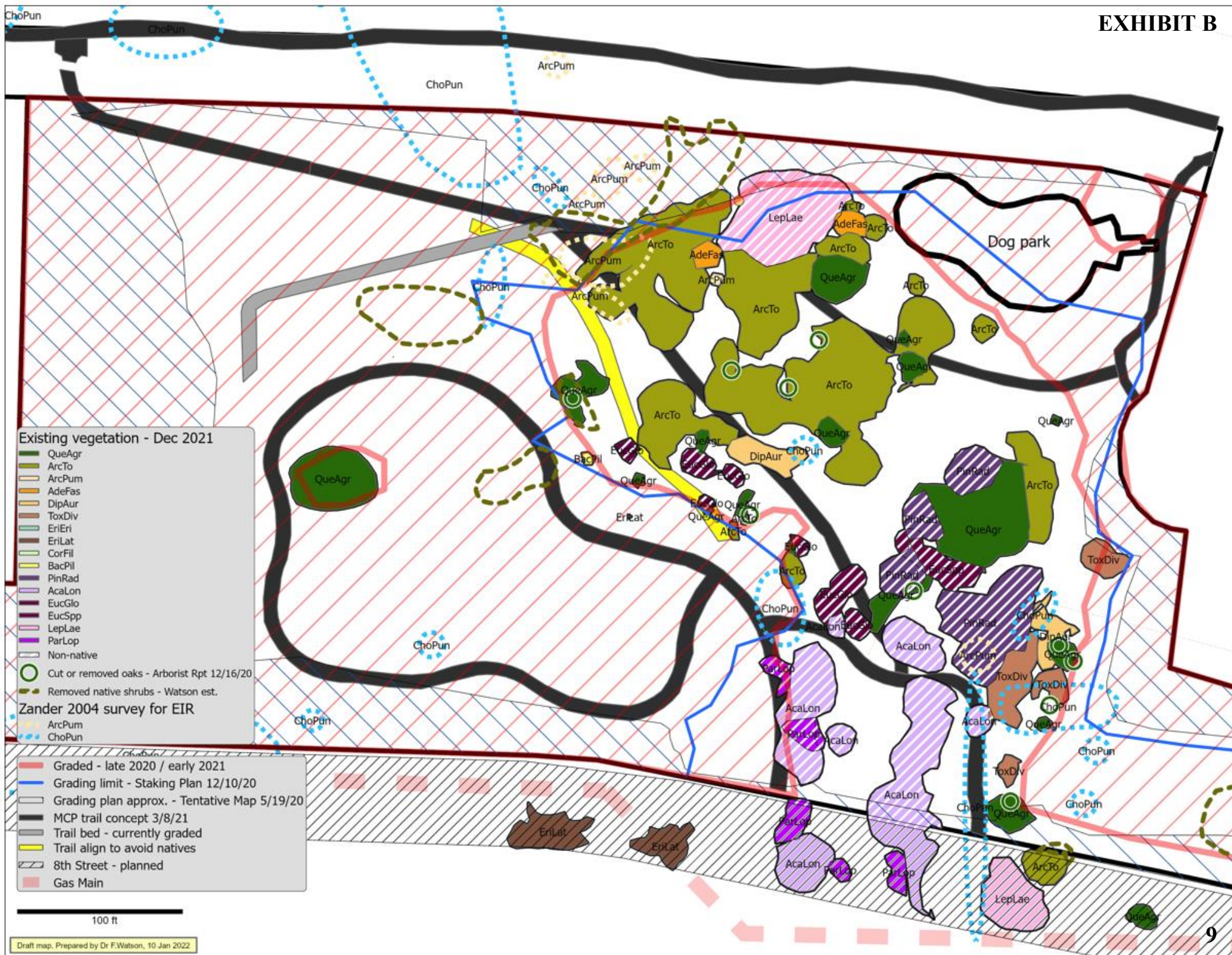
CONCEPTUAL LANDSCAPE PLAN
MARCH 8, 2021

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L-1.1

Project No. 02820





TIMBER STEPS AT 6' WIDE STABILIZED D.G. HIKING TRAIL



EXISTING VEGETATION - SEPTEMBER 2021



VIEW 1



VIEW 2



VIEW 3



VIEW 4



HILLTOP PARK VIEW



COMPOSITE BENCH SEATING



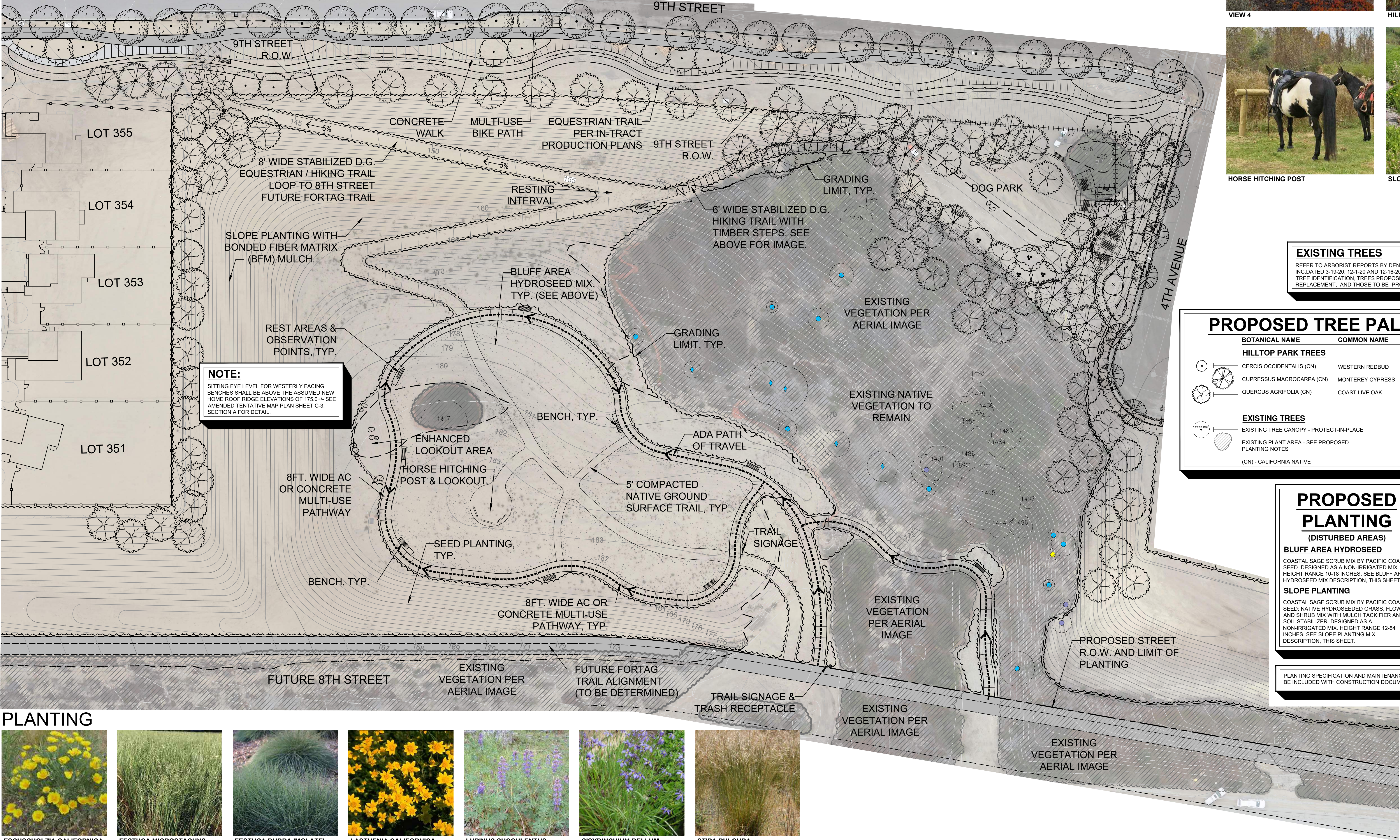
HORSE HITCHING POST



SLOPE PLANTING



BLUFF NATIVE GRASS



PLANTING



ESCHSCHOLZIA CALIFORNICA VAR. MARITIMA FESTUCA MICROSTACHYS FESTUCA RUBRA 'MOLATE' LASTHENIA CALIFORNICA LUPINUS SUCCULENTUS SISYRINCHIUM BELLUM STIPA PULCHRA

EXISTING TREES
REFER TO ARBORIST REPORTS BY DENISE DUFFY & ASSOCIATES, INC. DATED 3-19-20, 12-1-20 AND 12-16-20 FOR EXISTING PARK TREE IDENTIFICATION. TREES PROPOSED FOR REMOVAL & REPLACEMENT, AND THOSE TO BE PROTECTED IN PLACE.

PROPOSED TREE PALETTE			
BOTANICAL NAME	COMMON NAME	WUCOLS	MIN. SIZE
HILLTOP PARK TREES			
CERCIS OCCIDENTALIS (CN)	WESTERN REDBUD	V. LOW	24" BOX
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EXISTING TREES			
EXISTING TREE CANOPY - PROTECT-IN-PLACE			
EXISTING PLANT AREA - SEE PROPOSED PLANTING NOTES			
(CN) - CALIFORNIA NATIVE			

INVASIVE SPECIES REMOVAL

A PROPOSED LONG-TERM MAINTENANCE, PLANTING & INVASIVE SPECIES REMOVAL IS RECOMMENDED FOR THE REMAINDER OF THE PARK IN ALL UNDISTURBED AREAS.

INVASIVE SPECIES REMOVAL AND PLANTING SHALL BE PHASED AS TO NOT DISTURB ANY ESTABLISHED POCKETS OF IDENTIFIED RELIC NATIVE PLANT COMMUNITIES WITHIN THE PARK.

PHASED LONG TERM MAINTENANCE, EDUCATIONAL INFORMATION, PLANT IDENTIFICATION AND NATIVE PLANTING SHALL BE PROVIDED FOR AND IMPLEMENTED BY THE PARKS DEPARTMENT.

CALIPC RATED INVASIVE SPECIES OBSERVED BY FRED WATSON, PHD & RATED PER CALIPC:

ACACIA SPP. (LONGIFOLIA) - SYDNEY GOLDEN WATTLE
PARASERIANTHES LOPHANTHA - STINK BEAN
LEPTOSPERMUM LAEVIGATUM - AUSTRALIAN TEA TREE
GENISTA SPP. - BROOM
CORTADERIA SPP. - JUBATA GRASS OR PAMPAS GRASS
CARPOBROTUS SPP. - ICE PLANT

PROPOSED PLANTING
(DISTURBED AREAS)

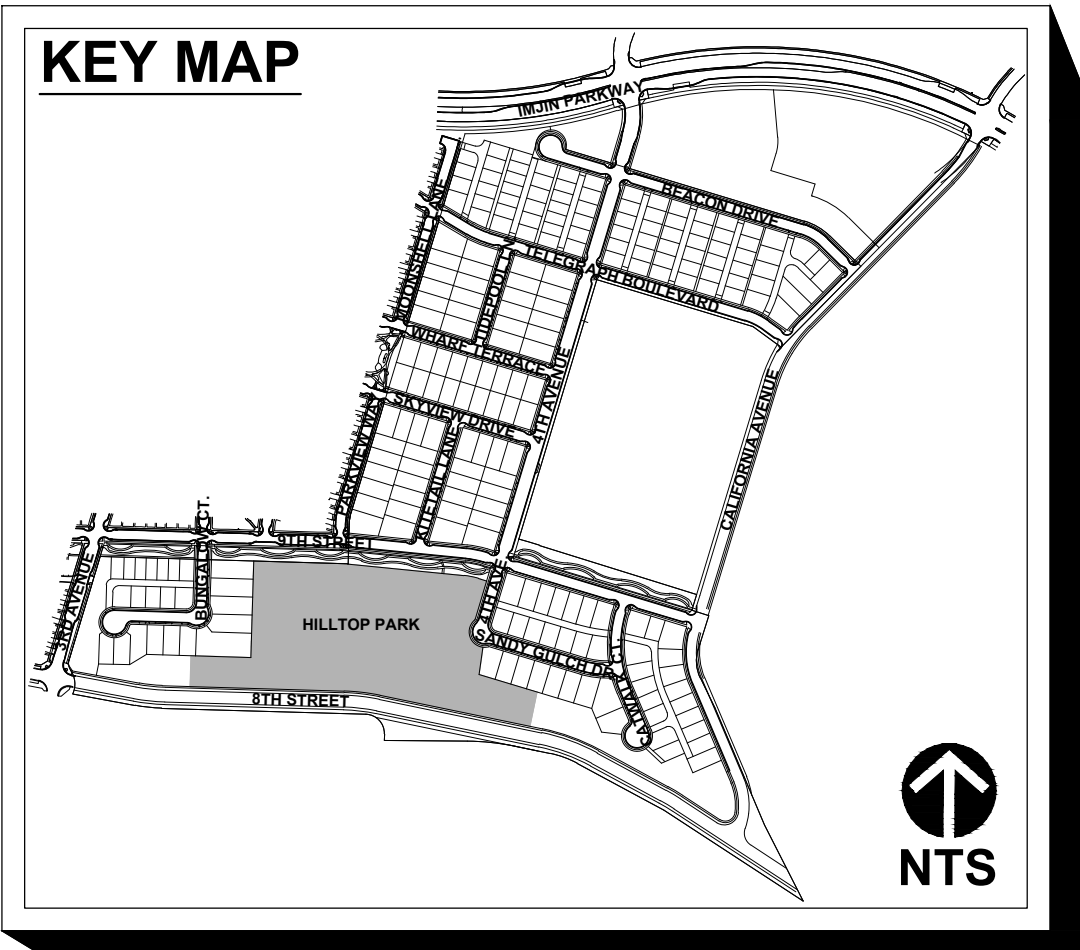
BLUFF AREA HYDROSEED
COASTAL SAGE SCRUB MIX BY PACIFIC COAST SEED, DESIGNED AS A NON-IRRIGATED MIX. HEIGHT RANGE 10-18 INCHES. SEE BLUFF AREA HYDROSEED MIX DESCRIPTION, THIS SHEET.

SLOPE PLANTING
COASTAL SAGE SCRUB MIX BY PACIFIC COAST SEED, NATIVE HYDROSEEDED GRASS, FLOWER AND SHRUB MIX WITH MULCH TACKIFIER AND SOIL STABILIZER, DESIGNED AS A NON-IRRIGATED MIX. HEIGHT RANGE 12-54 INCHES. SEE SLOPE PLANTING MIX DESCRIPTION, THIS SHEET.

PLANTING SPECIFICATION AND MAINTENANCE PLAN TO BE INCLUDED WITH CONSTRUCTION DOCUMENTS

TREES	QUANTITY REMOVED (*)
EUCALYPTUS SPECIES	5
COAST LIVE OAK (CN)	10
MONTEREY PINE (CN)	3
TORREY PINE (CN)	1

(CN) - CALIFORNIA NATIVE
(*) IDENTIFIED TREES ARE PER ARBORIST TREE INVENTORY REPORT DATED 12/1/2020 BY DENISE DUFFY & ASSOCIATES, INC.



AREA 1 - PROPOSED REVEGETATION

(Steep Slope Planting Areas ~ 5.75 acres)

HYDROSEEDING			RECOMMENDED SEEDING WINDOW: FALL		
NATIVE HYDROSEEDED GRASS, FLOWER AND SHRUB RESTORATION MIX WITH MULCH TACKIFIER AND SOIL STABILIZER.			IRRIGATION: SEED MIX DESIGN AS NON-IRRIGATED OPTIONAL: TEMPORARY IRRIGATION		
LBS./ ACRE	SEED TOTALS	BOTANICAL (COMMON NAME)	PLANT TYPE	GROWTH SIZE (HxW)	
1.5	9.0 lbs.	ACMISPON GLABER (DEERWEED) (CN) (1,2)	Forb	3' x 3'	
2.0	12.0 lbs.	ARTEMISIA CALIFORNICA (CALIFORNIA SAGEBRUSH) (CN) (1)	Shrub	8' x 4'	
1.5	9.0 lbs.	CAMISSONIOPSIS CHEIRANTHIFOLIA (BEACH EVENING PRIMROSE) (CN) (1,2)	Forb	0.3' x 3'	
4.0	24.0 lbs.	ELYMUS GLAUCUS (COASTAL BLUE WILDRIEY) (CN) (1,2)	Grass	5' x 5'	
8.0	48.0 lbs.	ERIOGONUM LATIFOLIUM (COAST BUCKWHEAT) (CN) (1)	Sub-shrub	1.5' x 2.5'	
1.5	9.0 lbs.	ERIOPHYLLUM STAEADHIFOLIUM (SEASIDE WOOLY SUNFLOWER) (CN) (1)	Sub-shrub	3.5' x 5'	
4.0	24.0 lbs.	ERICAMERIA ERICOIDES (MOCK HEATHER) (CN) (1,2)	Shrub	3.0' x 3.5'	
2.0	12.0 lbs.	ESCHSCHOLZIA CALIFORNICA VAR. MARITIMA (COAST CA POPPY) (CN) (1,2)	Forb	1.5' x 1.5'	
6.0	36.0 lbs.	FESTUCA IDAHOENSIS (COASTAL IDAHO FESCUE) (CN) (1)	Grass	2' x 2'	
4.0	24.0 lbs.	LUPINUS ARBOREUS (ARROYO LUPINE) (CN) (1,2)	Forb	3' x 3'	
4.0	24.0 lbs.	DIPLOCLADUS (MIMULUS) AURANTIACUS (STICKY MONKEYFLOWER - ORANGE) (CN) (1,2)	Sub-shrub	3' x 3'	
2.0	12.0 lbs.	SALVIA MELLIFERA (BLACK SAGE) (CN) (1,2)	Shrub	6' x 10'	
2.0	12.0 lbs.	SISYRINCHIUM BELLUM (BLUE-EYED GRASS) (CN) (1,2)	Forb	2' x 3'	
4.0	24.0 lbs.	STIPA CERNUA (NODDING STIPA) (CN) (1,2)	Grass	2.5' x spreading	
6.0	36.0 lbs.	STIPA PULCHRA (PURPLE NEEDLEGRASS) (CN) (1)	Grass	3' x spreading	
52.5 lbs.	315.0 lbs.				
CONTAINERIZED PLANTING			PROPOSED IRRIGATION: TEMPORARY		
(CN) - CALIFORNIA NATIVE					
TREES	BOTANICAL (COMMON NAME)		WUCOLS	MIN. SIZE	
	HESPEROCYPARIS (CUPRESSUS) MACROCARPA (MONTEREY CYPRESS) (CN) (1,2)		MOD.	15 GAL.	
	QUERCUS AGRIFOLIA (COAST LIVE OAK) (CN) (1,2)		LOW	15 GAL.	

AREA 2 - PROPOSED REVEGETATION

(Bluff Planting Areas ~ 0.75 acre)

HYDROSEEDING			RECOMMENDED SEEDING WINDOW: FALL		
COASTAL SAGE SCRUB MIX / HEIGHT RANGE 10'-18"			IRRIGATION: SEED MIX DESIGN AS NON-IRRIGATED OPTIONAL: TEMPORARY IRRIGATION		
LBS./ ACRE	SEED TOTALS	BOTANICAL (COMMON NAME)	PLANT TYPE	GROWTH SIZE (HxW)	
1.25	1.25 lbs.	ABRONIA LATIFOLIA (COASTAL SAND VERBENA) (CN) (1)	Forb	0.5' x 7"	
1.25	1.25 lbs.	ABRONIA UMBELLATA (PINK SAND VERBENA) (CN) (1)	Forb	0.5' x 0.5'	
1.5	1.5 lbs.	ARMERIA MARITIMA (SEA THRIFT) (CN) (1)	Shrub	0.5' x 0.5'	
1.0	1.0 lbs.	ACMISPON AMERICANUS (SPANISH CLOVER) (CN) (1,2)	Forb	3' x 3'	
1.0	1.0 lbs.	CAMISSONIOPSIS CHEIRANTHIFOLIA (BEACH EVENING PRIMROSE) (CN) (1,2)	Forb	0.3' x 3'	
1.5	1.5 lbs.	CROTON CALIFORNICUS (CN) (1,2)	Forb	3' x 3'	
4.0	4.0 lbs.	DESCHAMPSIA CESPITOSA HOLCIFORMIS (COASTAL HAIRGRASS) (CN) (1)	Grass	1' x 1'	
2.0	2.0 lbs.	ERIGERON GLAUCUS (SEASIDE DAISY) (CN) (1)	Forb	0.5' x 2'	
2.5	2.5 lbs.	ESCHSCHOLZIA CALIFORNICA VAR. MARITIMA (COAST CALIFORNIA POPPY) (CN) (1,2)	Forb	1.5' x 1.5'	
8.0	8.0 lbs.	FESTUCA IDAHOENSIS (COASTAL IDAHO FESCUE) (CN) (1)	Grass	2' x 2'	
1.0	1.0 lbs.	HORKELIA CUNEATA (WEDGELEAF HORKELIA) (CN) (1)	Forb	1.5' x 1.5'	
4.0	4.0 lbs.	LUPINUS NANUS (SKY LUPINE) (CN) (1,2)	Forb	1' x 1'	
6.0	6.0 lbs.	POA DOUGLASSII (DOUGLAS BLUEGRASS) (CN) (1)	Grass	1' x spreading	
2.5	2.5 lbs.	MELICA IMPERFECTA (COASTAL ONION GRASS) (CN) (1)	Grass	3' x spreading	
2.0	2.0 lbs.	SISYRINCHIUM BELLUM (BLUE-EYED GRASS) (CN) (1,2)	Forb	2' x 3'	
4.0	4.0 lbs.	STIPA CERNUA (NODDING NEEDLEGRASS) (CN)	Grass	2.5' x 2'	
6.0	6.0 lbs.	STIPA PULCHRA (PURPLE NEEDLEGRASS) (CN) (1)	Grass	3' x 1.5'	
48.5 lbs.	48.5 lbs.				
(CN) - CALIFORNIA NATIVE (1) - FORT ORD IDENTIFIED PLANT SPECIES * (2) - FORT ORD PLANT SPECIES IDENTIFIED IN PLANT AREA DESIGNATION D03 (HILLTOP PARK AREA) * (*) REFERENCE: "FLORA OF FORT ORD, MONTEREY CALIFORNIA" BY DAVID STYER, 2019					

AREA 3 - PROPOSED REVEGETATION

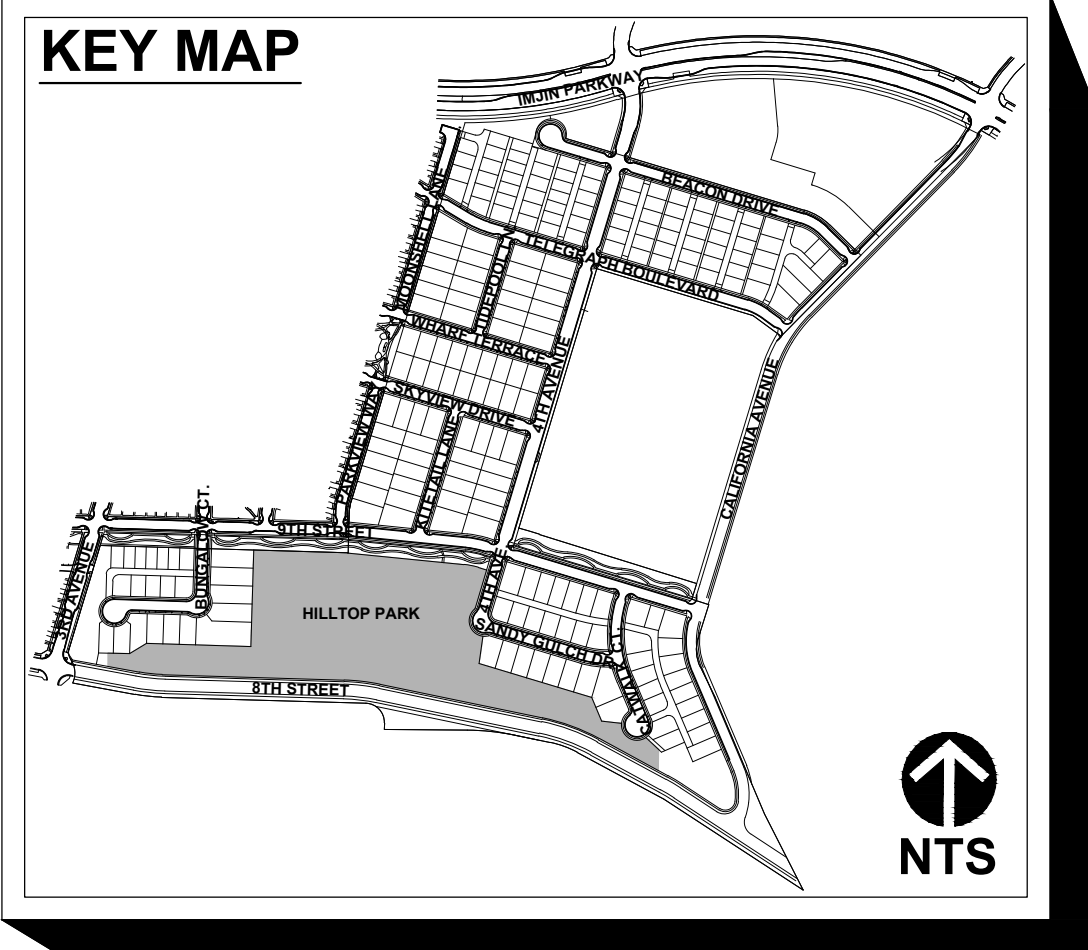
(Existing Native & Weed Eradicated Planting Areas ~ 3 acres)

BROADCAST SEEDING / LIVE CUTTINGS / CONTAINERIZED PLANTING			PROPOSED IRRIGATION: NON-IRRIGATED OPTIONAL: TEMPORARY IRRIGATION	
(SITE SPECIFIC SEED COLLECTION, LIVE CUTTINGS FROM VOLUNTEERS, COMMERCIALY AVAILABLE SEED FROM LOCAL SOURCES, AND CONTAINERIZED PLANTS FROM LOCAL NURSERY STOCK)				
PERENNIALS / SHRUBS / FORBS GRASSES	BOTANICAL (COMMON NAME)	PLANT TYPE	GROWTH SIZE (HxW)	
	ABRONIA UMBELLATA (PINK SAND VERBENA) (CN) (1)	Forb	0.5' x 0.5'	
	ACMISPON GLABER (DEERWEED) (CN) (1,2)	Sub-Shrub	3' x 3'	
	ACMISPON HEERMANNII (HERMAN'S LOTUS) (CN) (1,2)	Forb	1.5' x 1.5'	
	ACHILLEA MILLEFOLIUM (COMMON YARROW) (CN) (1,2)	Forb	3' x 1.5'	
	AGROSTIS EXARATA (SPIKE BENTGRASS) (CN) (1)	Grass	1.5' x spreading	
	ARCTOSTAPHYLOS TOMENTOSA SUBSP. TOMENTOSA (CN) (1,2)	Shrub	6' x 5'	
	ARCTOSTAPHYLOS PUMILA (SAND MAT MANZANITA) (CN) (1,2)	Shrub	1' x 4'	
	ARCTOSTAPHYLOS RUDIS (SAND MESA MANZANITA) (CN)	Shrub	5' x 7'	
	ARTEMISIA CALIFORNICA (CALIFORNIA SAGEBRUSH) (CN) (1)	Shrub	4' x 4'	
	BROMUS CARINATUS (BROME GRASS) (CN) (1,2)	Grass	2.5' x 2'	
	CAMISSONIOPSIS CHEIRANTHIFOLIA (BEACH EVENING PRIMROSE) (CN) (1,2)	Forb	0.3' x 3'	
	CORETHROGYNE FILAGINIFOLIA (BEACH ASTER) (CN) (1,2)	Sub-shrub	2' x 3'	
	CEANOTHUS DENTATUS (CUTLEAF CEANOTHUS) (CN) (1,2)	Shrub	2.5' x 5'	
	CEANOTHUS THYRSIFLORUS (BLUE BLOSSOM CEANOTHUS) (CN) (1,2)	Shrub	2-3' x 6-10'	
	CEANOTHUS RIGIDUS (MONTEREY CEANOTHUS) (CN) (1,2)	Shrub	4-6' x 5-15'	
	CROCANTHEMUM (HELIANTHEMUM) SCOPARIUM (RUSH ROSE) (CN) (1,2)	Perennial Forb	1.5' x 1.5'	
	CROTON CALIFORNICUS (CALIFORNIA CROTON) (CN) (1,2)	Forb	3' x 3'	
	ERICAMERIA ERICOIDES (MOCK HEATHER) (CN) (1,2)	Shrub	3' x 3.5'	
	DIPLOCLADUS (MIMULUS) AURANTIACUS (STICKY MONKEYFLOWER) (CN) (1,2)	Sub-shrub	3' x 3'	
	DISTICHLIS SPICATA (SALT GRASS) (CN) (1)	Grass	1.5' x spreading	
	ELYMUS GLAUCUS (COASTAL BLUE WILDRIE) (CN) (1,2)	Grass	5' x 5'	
	ERIOGONUM FASCICULATUM (CALIFORNIA BUCKWHEAT) (CN) (1)	Shrub	3' x 4'	
	ERIOGONUM LATIFOLIUM (COAST BUCKWHEAT) (CN) (1)	Sub-shrub	1.5' x 2.5'	
	ERIOPHYLLUM CONFERTIFLORUM (GOLDEN YARROW) (CN) (1,2)	Sub-shrub	2.5' x 1.5'	
	ESCHSCHOLZIA CALIFORNICA (COAST CA POPPY) (CN) (1,2)	Forb	1.5' x 1.5'	
	FRANGULA CALIFORNICA (COFFEEBERRY) (CN) (1) (2)	Shrub/Small tree	6-15' x 5-15'	
	GARRYA ELLIPTICA (COAST SILKTASSEL) (CN)	Shrub/Small tree	7-15' x 7-15'	
	HORKELIA CALIFORNICA (LEAFY HORKELIA) (SMALL FESCUE) (CN) (1)	Forb	1.5' x 1.5'	
	LUPINUS ARBOREUS (YELLOW COASTAL BUSH LUPINE) (CN) (1)	Shrub	4-7' x 4'	
	LUPINUS CHAMISSONIS (BEACH LUPINE) (CN) (1) (2)	Annual	1-2' X 1'	
	LUPINUS NANUS (SKY LUPINE) (CN) (1) (2)	Shrub	5-7' x 3'	
	POA DOUGLASSII (DUNE BLUEGRASS) (CN) (1)	Grass	1' x spreading	
	POA SECUNDA (PINE BLUEGRASS) (CN) (1)	Grass	2.5' x 2'	
	PSEUDOGNAPHALIUM CALIFORNICUM (CALIFORNIA EVERLASTING) (CN) (1) (2)	Forb	1-3' x 2'	
	PSEUDOGNAPHALIUM RAMOSISSIMUM (PINK EVERLASTING) (CN) (1) (2)	Forb	3' x 3'	
	PSEUDOGNAPHALIUM STRAMINEUM (COTTON-BATTING PLANT) (CN) (1) (2)	Forb	2' x 2'	
	SALVIA MELLIFERA (BLACK SAGE) (CN) (1,2)	Shrub	6' x 10'	
	SISYRINCHIUM BELLUM (BLUE-EYED GRASS) (CN) (1,2)	Forb	2' x 3'	
	STIPA CERNUA (NODDING NEEDLEGRASS) (CN) (1)	Grass	2-3' x 2'	
	STIPA PULCHRA (PURPLE NEEDLEGRASS) (CN) (1)	Grass	3' x 1.5'	
	QUERCUS AGRIFOLIA (COAST LIVE OAK) (CN) (1,2)	Tree		
(CN)- CALIFORNIA NATIVE (1)- FORT ORD IDENTIFIED PLANT SPECIES * (2)- FORT ORD PLANT SPECIES IDENTIFIED IN PLANT AREA DESIGNATION D03 (HILLTOP PARK AREA) * (*) REFERENCE: "FLORA OF FORT ORD, MONTEREY CALIFORNIA" BY DAVID STYER, 2019				

AREA 4 - PROPOSED REVEGETATION

(Dog Park Planting Area ~ 0.5 acres)

CONTAINERIZED PLANTING		PROPOSED IRRIGATION: PERMANENT POINT-SOURCE DRIP	
(CN) - CALIFORNIA NATIVE			
TREES	BOTANICAL (COMMON NAME)		
	AESCULUS CALIFORNICA (CALIFORNIA BUCKEYE) (CN) (1/3)		
	CERCIS OCCIDENTALIS (WESTERN REDBUD) (CN) (3)		
	HESPEROCYPARIS (CUPRESSUS) MACROCARPA (MONTEREY CYPRESS) (CN) (1,2,3)		
	QUERCUS AGRIFOLIA (COAST LIVE OAK) (CN) (1,2,3)		
SHRUBS / PERENNIALS GRASSES	BOTANICAL (COMMON NAME)		
	ARCTOSTAPHYLOS SPP. (MANZANITA)		
	BACHARRIS PILULARIS SPP. (COYOTE BRUSH)		
	ARTEMISIA CALIFORNICA (CALIFORNIA SAGEBRUSH)		
	CAREX DIVULSA (SEDGE) (3)		
	CEANOTHUS SPP. (CEANOTHUS)		
	CORREA X 'DUSTY BELLS' (RED AUSTRALIAN FUCHSIA) (3)		
	ELYMUS SPP. (WILD RYE)		
	ERIOGONUM SPP. (BUCKWHEAT)		
	DODONAEA VISCOSA (PURPUREA) (HOPSEED BUSH) (3)		
	GARRYA ELLIPTICA (SILKTASSEL)		
	HELIANTHEMUM NUMMULARIUM VAR. (SUNROSE) (3)		
	HELIOTRICHON SEMPERVIENS (BLUE OAT GRASS) (3)		
	HESPERALOE PARVIFLORA (RED YUCCA) (3)		
	HETEROMELES ARBUTIFOLIA (TOYON)		
	MIMULUS SPP. (STICKY MONKEY FLOWER)		
	PENSTEMON SPP. (PENSTEMON)		
	PHORMIUM HYBRIDS (FLAX) (3)		
	PRUNUS ILICIFOLIA (HOLLYLEAF CHERRY)		
	RHAMNUS SPP. (COFFEEBERRY)		
	RHUS OVATA (SUGAR BUSH)		
	RIBES SPP. (CHAPARRAL CURRENT)		
	ROMNEYA COULTERI (MATILIA POPPY)		
	SALVIA CLEVELANDII (SAGE)		
	SALVIA LEUCANTHA (MEXICAN BUSH SAGE) (3)		
(1) - FORT ORD IDENTIFIED PLANT SPECIES *			
(2) - FORT ORD PLANT SPECIES IDENTIFIED IN PLANT AREA DESIGNATION D03 (HILLTOP PARK AREA) *			
(3) - THE DUNES SPECIFIC PLANT APPROVED PLANT SPECIES.			
(*) REFERENCE: "FLORA OF FORT ORD, MONTEREY CALIFORNIA" BY DAVID STYER, 2019			

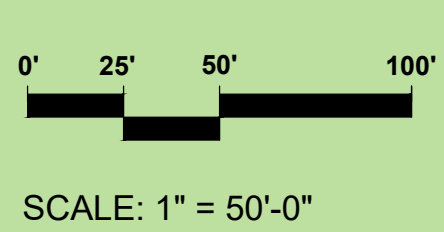


City of Marina
211 HILLCREST AVENUE
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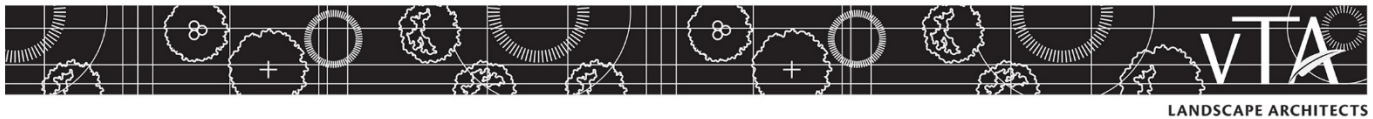
DUNES PHASE 2 EAST
Marina, California

HILLTOP PARK
CONCEPTUAL LANDSCAPE PLAN
FEBRUARY 10, 2021

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L-1.1
Project No. 02820



HYDROSEED & BROADCAST SEEDED PLANTING AREAS

Project: Dunes Hilltop Park

(4/26/2022)

Slope Planting – Seeding Success Criteria:

1. **Secure Seed**
 - a. locally and from surrounding communities.
 - b. Quality
2. **Seeding area preparation:**
 - a. Mechanical / Chemical Removal Weeds & Invasive Species
 - b. Soil analysis
3. **Irrigation**
 - a. Temporary Irrigation Install (if applicable)
4. **Seeding Schedule**
 - a. Critical Timing.
5. **Hydroseeding Material**
 - a. Wood Fiber Mulch
 - b. Erosion Control
 - i. Bonded Fiber Matrix.
 - ii. Tackifier/Organic Stabilizer
 - c. Compost
 - d. Fertilizer
 - e. Soil Inoculant
6. **Seed Protection**
 - a. Protective fencing
7. **Early and Late Seral Stage Maritime Chaparral Seeding Success Criteria (*)**
 - a. Objective #1 – Percent coverage for Bare Ground (Yearly Target)
 - b. Objective #2 – Percent coverage for Non-Natives to stay under. (Yearly Target)
8. **Reseeding**
 - a. Areas which fail to show a uniform stand
9. **Establishment / Monitoring / Long term Maintenance**
 - a. Spot Seeding
 - b. Replanting (cuttings or nursery stock planting)
 - c. Erosion & Invasive Weed control.

(*) Note: *Maritime Chaparral naturally occurs in patches at different seral states with different species composition.*

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